



---

## *Vision*

***THE CITY OF BETTENDORF IS THE MOST LIVABLE  
COMMUNITY WITH RICH EDUCATIONAL, CULTURAL AND  
RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A  
VIBRANT RIVERFRONT AND A GROWING, COMPETITIVE  
BUSINESS ENVIRONMENT.***

***WE TAKE PRIDE IN OUR GREAT COMMUNITY***

---

The Vision Statement for the City of Bettendorf outlines what Bettendorf wants in the future. Our preferred future is defined in value-based principles that can guide policies, decisions and operations. The City of Bettendorf is a Premier City in which to live.

**BETTENDORF CITY COUNCIL  
COMMITTEE OF THE WHOLE  
COUNCIL CHAMBERS – CITY HALL**

**MONDAY, AUGUST 1, 2022  
5:00 P.M.**

**The Bettendorf City Council Committee of the Whole meeting will be open to the public. Additionally, the City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>**

**AGENDA**

**I. PRESENTATIONS**

- Update on TAU's Emerald Ash Borer Program – Bob Sartor
- Update on final plat of Devil's Bluff and site development plan for 1200 Devils Glen Road – NO ACTION – Community Development Director Mark Hunt

**II. CONSENT AGENDA ITEMS**

- Resolution authorizing the Director of Public Works to issue a purchase order to Toter, LLC for the purchase of Toter garbage carts in the amount of \$26,425.05 – Public Works Director Brian Schmidt (**See Consent I**)
- Resolution approving a site development plan for 3340 Utica Ridge Road, submitted by Craig Shannon (Case 22-036) – Community Development Director Mark Hunt (**See Consent R**)
- Resolution approving a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition), submitted by Emery Construction Group, Inc./ Jack Laud (Case 22-051) – Community Development Director Mark Hunt (**See Consent S**)

**III. REMAINING CONSENT AGENDA ITEMS**

**IV. OPERATIONAL ITEMS**

**V. ITEMS ADDED BY MAYOR AND COUNCIL**

*IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE. THE REQUIREMENT THAT AN ORDINANCE BE READ THREE TIMES BEFORE PASSAGE MAY BE WAIVED BY COUNCIL UPON AN AFFIRMATIVE VOTE OF SIX OF THE SEVEN COUNCIL MEMBERS. THE PUBLIC IS ADVISED TO TAKE NOTE OF THIS PROCESS AND BE PREPARED TO SPEAK EITHER FOR OR AGAINST ANY ORDINANCE AT THE TIME OF FIRST READING.*

**CITY OF BETTENDORF CITY COUNCIL MEETING  
COUNCIL CHAMBERS – CITY HALL**

**TUESDAY, AUGUST 2, 2022  
7:00 P.M.**

The Bettendorf City Council meeting will be open to the public.  
Additionally, the City of Bettendorf will broadcast this public meeting online at  
<http://www.bettendorf.org/live-meeting>

**AGENDA**

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INVOCATION** – Given by Allan Ross, Executive Director, Jewish Federation of the Quad Cities
- 4. PUBLIC REQUESTS OF COUNCIL** – Residents are welcome to address the Council on any item not already on the agenda. Comments should be limited to two minutes. The Mayor reserves the right to reduce the 2 minute time period based on the number of individuals desiring to speak.
- 5. ORDINANCE**  
  
Council Member Baden to present the first reading of an ordinance amending Bettendorf City Code Section 6-1-131, “No Parking Zones Enumerated” by adding a No Parking Zone on Competition Drive
- 6. ORDINANCE**  
  
Council Member Webster to present the third and final reading of an ordinance amending Bettendorf City Code Section 6-1-322(B)(2), “Vehicles Entering Yield Intersection” by adding yield intersections on Kristi Lane at Berkshire Street, on Grove Crossing/Cash’s Path at Jake’s Lane/ Grove Crossing Court and on Matthew’s Pass/ Matthew’s Court at Cash’s Path
- 7. RESOLUTION – (CONSENT AGENDA M ADDED AT COMMITTEE OF THE WHOLE MEETING AT REQUEST OF COUNCIL MEMBER ADAMSON 8/1/2022)**  
  
Council Member Sechser to present a resolution setting a date for public hearing on the rezoning of property located at the northwest corner of Hopewell and Criswell Street, A-1, Agricultural/ Urban Reserve District to R-2, Single-Family Residence District, submitted by Our Lady of Lourdes Church and St. John Vianney Church (Case 22-048)

**8. RESOLUTION – (CONSENT AGENDA O ADDED AT COMMITTEE OF THE WHOLE MEETING AT REQUEST OF COUNCIL MEMBER ADAMSON 8/1/2022)**

Council Member Naumann to present a resolution approving the final plat of Our Lady of Lourdes-St. John Vianney Addition, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-049)

**9. CONSENT AGENDA**

**10. ADJOURN**

**CONSENT AGENDA  
AUGUST 2, 2022**

**ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL  
AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM  
SHALL BE REMOVED AND DISCUSSED SEPARATELY**

- A. Minutes from July 19, 2022 (Approve and Adopt)
- B. Resolution setting the date for a public hearing on the vacation and conveyance of excess right-of-way along Forest Grove Drive. (Approve and Adopt)
- C. Resolution awarding the contract and approving the contract and bond for the FG80 Site Development Sanitary and Storm Sewer Project. (Approve and Adopt)
- D. Resolution accepting improvements for the 2021 Full Depth Patching Program. (Approve and Adopt)
- E. Resolution accepting improvements for the 2021 Street Resurfacing Program. (Approve and Adopt)
- F. Resolution accepting improvements for the Forest Grove Elementary Turn Lane Project. (Approve and Adopt)
- G. Resolution approving the purchase of road de-icing salt from Compass Minerals America, Inc. in the amount of \$372,187.20. (Approve and Adopt)
- H. Resolution approving updates to the Agency Safety Plan (ASP) for the City of Bettendorf's Transit System. (Approve and Adopt)
- I. Resolution authorizing the Director of Public Works to issue a purchase order to Toter, LLC for the purchase of Toter garbage carts in the amount of \$26,425.05. (Approve and Adopt)
- J. Resolution authorizing the Director of Public Works to issue a purchase order to MTI Distributing for one (1) new and unused Toro Groundsmaster 5900 Mower. (Approve and Adopt)
- K. Resolution setting a date for public hearing on the rezoning of property located east of Crestview Heights Subdivision, A-1, Agricultural /Urban Reserve District to A-2, Rural Residence District, submitted by Bill Pender (Case 22-041). (Approve and Adopt)
- L. Resolution setting a date for public hearing on the rezoning of property located at the southwest corner of Hopewell Avenue and Criswell Street, A-1, Agricultural / Urban Reserve District to R-3, Mixed Residential District, submitted by Youssi Investments of Iowa, LLC (Case 22-047). (Approve and Adopt)

***M. MOVED TO ITEMS TO APPEAR #7 AT REQUEST OF COUNCIL MEMBER  
ADAMSON AT COMMITTEE OF THE WHOLE MEETING 8/1/2022***

- N. Resolution setting a date for public hearing on the rezoning of 3618 Middle Road (Lot 5, Victor Archer's Addition), A-1, Agricultural/ Urban Reserve District to C-2, Community Commercial District, submitted by Emery Construction Group, Inc./ Jack Laud (Case 22-050). (Approve and Adopt)
- O. *MOVED TO ITEMS TO APPEAR #8 AT REQUEST OF COUNCIL MEMBER ADAMSON AT COMMITTEE OF THE WHOLE MEETING 8/1/2022***
- P. Resolution approving the final plat of Forest Green, submitted by Chris McNamara/ McNamara Construction (Case 22-045). (Approve and Adopt)
- Q. Resolution approving the final plat of Forest Grove Crossing Sixth Addition, submitted by Youssi Investments of Iowa, LLC (Case 22-046). (Approve and Adopt)
- R. Resolution approving a site development plan for 3340 Utica Ridge Road, submitted by Craig Shannon (Case 22-036). (Approve and Adopt)
- S. Resolution approving a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition), submitted by Emery Construction Group, Inc. /Jack Laud (Case 22-051). (Approve and Adopt)
- T. Resolution reappointing Donald Folland Jr. to the City of Bettendorf's Electrical Commission. (Approve and Adopt)
- U. Resolution authorizing staff to enter into contract with The Green Thumbers for landscaping services at the Waterfront Convention Center at the proposed costs of \$50,855.00. (Approve and Adopt)
- V. Resolution authorizing the purchase of maintenance services for the use of Tyler Technologies INCODE Utility Billing Software used for the management and collection of customer payments for sewer and solid waste collection services. (Approve and Adopt)
- W. Resolution approving the purchase of video/ recording equipment (50 camera/software licenses) from Rekor for the Police Department. (Approve and Adopt)
- X. Resolution authorizing the Mayor to accept \$44,789.50 from the Edward Byrne Memorial Justice Assistance Grant (JAG) Program FY2022 Local Solicitation. (Approve and Adopt)
- Y. Resolution approving liquor license renewals and requests for Ross' Restaurant; Central Avenue Tap; Hemisphere's Bistro; Food Affair; Purgatory's Pub; Kwik Star #1007 (location); and Adventurous Brewing. (Approve and Adopt)
- Z. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Brent O. Morlok, P.E.  
City Engineer  
**WARD:** 5

**Item Title:**

Ordinance amending Bettendorf City Code Section 6-1-131, "No Parking Zones Enumerated" by adding a No Parking Zone on Competition Drive.

**Explanation:**

Competition Drive frequently experiences vehicles parking on both sides of the street during larger events at the TBK Bank Sports Complex, as well as regular semi-truck parking overnight from guests at the Cambria Hotel. With construction now beginning on the Forest Grove Drive Reconstruction Project, Competition Drive will be needed as a detour route during several of the proposed traffic stages. Those detours will be for long periods of time and involve a significant volume of traffic, so staff is proposing to establish a No Parking zone for the entire length of Competition Drive. The street is not wide enough to safely convey that much traffic with vehicles parked on either side. Staff has had discussions with both TBK and the Cambria regarding the need for this and the property owners are working on a proposed solution to address their needs without the use of the street.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

The cost of publication and the erection of signs.

**List Attachments:**

Ordinance

ORDINANCE AMENDING BETTENDORF CITY CODE  
SECTION 6-1-131, "NO PARKING ZONES ENUMERATED"  
BY ADDING A NO PARKING ZONE ON COMPETITION DRIVE

Section One. BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that Bettendorf City Code Section 6-1-131 entitled, "No Parking Zones Enumerated" is hereby amended by **adding** thereto the following no parking zone:

"Competition Dr., on both sides, from Middle Rd. to 150 feet west of Friendship Path"

Section Two. Full Force and Effect. This ordinance shall be in full force and effect the date of passage and publication as required by law.

Section Three. Severability of Provisions. If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion thereof.

Section Four. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Passed, Approved and Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**MEETING DATE:** July 19, 2022  
**REQUESTED BY:** Brent Morlok, P.E.  
City Engineer  
**WARD:** 5

<p><b>Item Title:</b></p> <p>Ordinance amending Bettendorf City Code Section 6-1-322(B)(2), “Vehicles Entering Yield Intersection” by adding yield intersections on Kristi Ln. at Berkshire St., on Grove Crossing / Cash’s Path at Jake’s Ln. / Grove Crossing Ct. and on Matthew’s Pass / Matthew’s Ct. at Cash’s Path.</p>
<p><b>Explanation:</b></p> <p>Public Works and the Police Department have recently received complaints regarding the lack of traffic control signs at the following intersections:</p> <ul style="list-style-type: none"><li>• Kristi Ln. at Berkshire St.</li><li>• Grove Crossing / Cash’s Path at Jake’s Ln. / Grove Crossing Ct</li><li>• Matthew’s Pass / Matthew’s Ct. at Cash’s Path</li></ul> <p>After a review of the intersections and considering the observed traffic patterns, staff recommends installing yield signs in these locations to improve safety along these corridors. These locations do not meet Manual on Uniform Traffic Control Devices (MUTCD) warrants for stop signs, thus yield signs were selected.</p>
<p><b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</b></p> <p>Publication costs and costs of materials and installation.</p>
<p><b>List Attachments:</b></p> <p>Ordinance</p>

ORDINANCE AMENDING BETTENDORF CITY CODE SECTION 6-1-322(B)(2), “VEHICLES ENTERING YIELD INTERSECTION” BY ADDING YIELD INTERSECTIONS ON KRISTI LN. AT BERKSHIRE ST., ON GROVE CROSSING / CASH’S PATH AT JAKE’S LN. / GROVE CROSSING CT. AND ON MATTHEW’S PASS / MATTHEW’S CT. AT CASH’S PATH

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that Section 6-1-322(B)(2) entitled: “Vehicles Entering Yield Intersection” be amended by adding thereto the following yield intersections:

- Kristi Ln. at Berkshire St.
- Grove Crossing / Cash’s Path at Jake’s Ln. / Grove Crossing Ct
- Matthew’s Pass / Matthew’s Ct. at Cash’s Path

Section Two. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publication as required by law.

Section Three. Severability of Provisions. If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion thereof.

Section Four. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section Five. Penalty. Any person, firm or corporation violating the provisions of this ordinance shall be fined not more than \$625.00 or sentenced to not more than 30 days incarceration.

Passed, Approved and Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**CITY OF BETTENDORF  
CITY COUNCIL MEETING MINUTES**

**JULY 19, 2022**

The City Council of Bettendorf, Iowa met in regular session on July 19, 2022 at 7:00 p.m., in the Council Chambers at Bettendorf City Hall, 1609 State Street, Bettendorf, Iowa.

The City of Bettendorf continues to follow CDC Guidelines with respect to the current COVID-19 situation. Additionally, the City of Bettendorf broadcasted this public meeting online at <http://www.bettendorf.org/live-meeting>.

**Council Members Present:** Adamson (Zoom), Brown, Connors, Naumann, Sechser (Zoom), Baden (Zoom), Webster

**Presiding:** Mayor Robert S. Gallagher

Mayor Gallagher opened the meeting with the Pledge of Allegiance followed with an Invocation given by Pastor Rich Pokora of All Saints Lutheran Church.

**PUBLIC REQUESTS OF COUNCIL**

Dan Corray, 5056 55<sup>th</sup> Ave, Bettendorf; Joe Dooley, 2603 College Ave, Davenport; Kevin Peterson, 4150 E 60<sup>th</sup> St, #701, Davenport; Paul Freund, 300 River Drive, Bettendorf; Teresa and Robert Majchrzak, 3436 Valley Drive, LeClaire; Mike Jepsen, 629 W Grove St, Long Grove; Lisa Brooks, 6252 Hess Ct, Bettendorf; Ross Barlow, 3365 Lundy Ln, Bettendorf; and Randy Brockhage, 220 Benton St, LeClaire, all addressed the Mayor and Council with their support for the Life Fitness Center and their opposition to the potential closing of same.

No one else addressed the Council and the session was closed.

**PUBLIC HEARING REGARDING THE FG80 SITE DEVELOPMENT SANITARY AND STORM SEWER PROJECT**

Public Works Director Brian Schmidt gave an explanation of the resolution. Mayor Gallagher asked for any questions. None presented. Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher then opened the Public Hearing. No one addressed the Council and the Public Hearing was closed.

**RESOLUTION**

Council Member Naumann presented a resolution approving the plans, specifications and form of contract for the FG80 Site Development Sanitary and Storm Sewer Project, and made a motion to approve the resolution as presented. Council Member Webster seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); Brown (aye); and Connors (aye). The motion passed unanimously.

**PUBLIC HEARING REGARDING THE VACATION OF CITY-OWNED PROPERTY ADJACENT TO 1200 DEVILS GLEN ROAD (PARCEL NUMBER 842719003) AND CONVEYANCE TO OWNER OF PROPOSED LOT 1, DEVIL'S BLUFF SUBDIVISION (CASE 22-053)**

Community Development Director Mark Hunt gave an explanation of the resolution. Mayor Gallagher asked for any questions. Council Members Webster and Sechser questioned staff. Community Development Director Mark Hunt and City Attorney Chris Curran responded. Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Mayor Gallagher then opened the Public Hearing. No one addressed the Council and the Public Hearing was closed.

## **RESOLUTION**

Council Member Connors presented a resolution approving the vacation of city-owned property generally located at 1200 Devils Glen Road (Parcel Number 842719003) and conveyance to owner of Lot 1, Devil's Bluff Subdivision, and made a motion to approve the resolution as presented. Council Member Naumann seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); Brown (aye); and Connors (aye). The motion passed unanimously.

## **ORDINANCE – SECOND READING AMENDING BETTENDORF CITY CODE SECTION 6-1-322(B)(2), “VEHICLES ENTERING YIELD INTERSECTION” BY ADDING YIELD INTERSECTIONS ON KRISTI LANE AT BERKSHIRE STREET, ON GROVE CROSSING/CASH’S PATH AT JAKE’S LANE/ GROVE CROSSING COURT, AND ON MATTHEW’S PASS/ MATTHEW’S COURT AT CASH’S PATH**

Council Member Webster presented the second reading of an ordinance amending Bettendorf City Code Section 6-1-322(B)(2), “Vehicles Entering Yield Intersection” by adding yield intersections on Kristi Lane at Berkshire Street, on Grove Crossing/Cash's Path at Jake's Lane/ Grove Crossing Court and on Matthew's Pass/ Matthew's Court at Cash's Path, and made a motion to approve the ordinance at its second reading as presented. Council Member Naumann seconded the motion. Mayor Gallagher asked for any questions. None presented. Roll call vote indicated Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); Brown (aye); and Connors (aye). The motion passed unanimously.

## **CONSENT AGENDA**

Mayor Gallagher asked for a motion to approve the Consent Agenda as presented. Council Member Webster made a motion to approve the Consent Agenda as presented, and Council Member Naumann seconded the motion. Mayor Gallagher asked Council for any questions. None presented. Roll call vote indicated Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); Brown (aye); and Connors (aye). The motion passed unanimously.

## **ADJOURNMENT**

There being no further business, Council Member Connors made a motion to adjourn and Council Member Webster seconded the motion. The meeting was adjourned at approximately 7:40 p.m.

---

Mayor Robert S. Gallagher

Attest:

---

City Clerk Decker P. Ploehn

**CONSENT AGENDA**  
**JULY 19, 2022**

**ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL  
AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM  
SHALL BE REMOVED AND DISCUSSED SEPARATELY**

- A. Minutes from July 5, 2022 (Approve and Adopt)
- B. Resolution authorizing the Director of Public Works to issue a purchase order to French Landscaping Inc. for the installation of drain tile at Middle Road and Crow Creek Road. (Approve and Adopt)
- C. Resolution ordering the installation of street lights in Belmont at Town Centre. (Approve and Adopt)
- D. Resolution approving the issuance of a purchase order to Ventrac for a Ventrac 4520P Mower for Palmer Hills Golf Course Maintenance. (Approve and Adopt)
- E. Resolution approving Civil Service List submitted for Revenue Clerk position in the Finance Department. (Approve and Adopt)
- F. Resolution approving Civil Service List submitted for Combination Residential Rental Unit and Building Inspector position in the Community Development Department. (Approve and Adopt)
- G. Resolution approving Civil Service List submitted for Senior Signs and Marking Technician position in the Public Works Department. (Approve and Adopt)
- H. Resolution approving liquor license renewals and requests for Express Lane Gas & Food Mart (State St location); Tanglewood Hills Pavilion & Country Club; a new license for Smash Pizzeria and Bakery; and The Vintage Pop-Up Wine Bar. (Approve and Adopt)
- I. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Brent Morlok, P.E.  
City Engineer  
**WARD:** 4

**Item Title:**

Resolution setting the date for a public hearing on the vacation and conveyance of excess right-of-way along Forest Grove Drive.

**Explanation:**

The Forest Grove Drive Reconstruction Project from Utica Ridge Rd. to Eagle Ridge Rd. resulted in a new alignment for the roadway for the western half of the project. As a result of that realignment, a small portion of the former right-of-way still remains as public right-of-way but is no longer needed by the City. In accordance with State code, staff is proposing to vacate that right-of-way and transfer ownership to the adjacent property owners.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

There is no expense aside from recording fees associated with this request.

**List Attachments:**

Resolution  
Plats of Survey

RESOLUTION NO. \_\_\_\_-22

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING  
ON THE VACATION AND CONVEYANCE OF EXCESS RIGHT-OF-WAY  
ALONG FOREST GROVE DRIVE

WHEREAS, the City of Bettendorf (the “City”) is the owner of certain right-of-way along Forest Grove Drive (the “Property”) specifically described as Excess Right-of-Way on Document #2020-00011940, #2020-00011941 and #2020-00011942 as recorded at the Scott County Recorder’s Office, and

WHEREAS, there is no current or anticipated public benefit or need for the Property proposed to be vacated and conveyed, and

WHEREAS, the contiguous and adjoining property owners are interested in accepting the Property.

NOW, THEREFORE, BE IT RESOLVED, that this Council will conduct a public hearing to vacate and convey excess right-of-way along Forest Grove Drive to the adjoining property owners in the City Hall Council Chambers at 1609 State Street, Bettendorf, Iowa at 7:00 p.m. on the 16<sup>th</sup> day of August, 2022, and the City Clerk is hereby instructed to give notice of said hearing, said notice to be published at least once as provided by law, not less than 4 days nor more than 20 days before the date set for the hearing.

Passed, Approved and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



Excess Right of Way Description  
Parcel 02 – Circle K Properties, LLC

Part of the Northeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Davenport, County of Scott, State of Iowa, more particularly described as follows:

Tract 1

Beginning at the southwest corner of the Northeast Quarter of said Section 4; Thence North 01 degrees 51 minutes 20 seconds West along the west line of the Northeast Quarter of said Section 4, a distance of 33.01 feet to the north right of way line of Forest Grove Drive; Thence North 87 degrees 01 minutes 37 seconds East along said north right of way line, a distance of 295.41 feet to the southwesterly right of way line of Forest Grove Drive as established by Warranty Deed recorded as Document #2015-19566; Thence South 80 degrees 17 minutes 33 seconds East along said southwesterly right of way line, a distance of 50.93 feet; Thence South 81 degrees 44 minutes 22 seconds East along said southwesterly right of way line, a distance of 51.38 feet; Thence South 83 degrees 08 minutes 52 seconds East along said southwesterly right of way line, a distance of 51.36 feet; Thence South 81 degrees 49 minutes 17 seconds East along said southwesterly right of way line, a distance of 15.76 feet to the south line of the Northeast Quarter of said Section 4; Thence South 87 degrees 01 minutes 37 seconds West along said south line, a distance of 462.20 feet to the Point of Beginning.

The above described parcel contains 12,368 square feet or 0.28 acres, more or less as shown by the attached Excess Right of Way and Access Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Access Easement Description  
Parcel 02 – Circle K Properties, LLC

Part of the Northeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Davenport, County of Scott, State of Iowa, more particularly described as follows:

Access Easement 1

Commencing at the southwest corner of the Northeast Quarter of said Section 4;

Thence North 87 degrees 01 minutes 37 seconds East along the south line of the Northeast Quarter of said Section 4, a distance of 405.74 feet to the Point of Beginning;

Thence North 07 degrees 34 minutes 12 seconds East, a distance of 10.00 feet;

Thence South 83 degrees 08 minutes 52 seconds East, a distance of 39.75 feet;

Thence South 81 degrees 49 minutes 17 seconds East, a distance of 15.76 feet to the south line of the Northeast Quarter of said Section 4;

Thence South 87 degrees 01 minutes 37 seconds West along said south line, a distance of 56.46 feet to the Point of Beginning.

The above described parcel contains 285 square feet or 0.01 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Access Easement 2

Commencing at the southwest corner of the Northeast Quarter of said Section 4;

Thence North 87 degrees 01 minutes 37 seconds East along the south line of the Northeast Quarter of said Section 4, a distance of 172.01 feet to the Point of Beginning;

Thence North 05 degrees 08 minutes 47 seconds East, a distance of 2.85 feet;

Thence northerly 18.48 feet along the arc of a curve to the right having a radius of 120.00 feet, a chord bearing of North 09 degrees 33 minutes 27 seconds East, and a chord distance of 18.46 feet;

Thence North 13 degrees 58 minutes 07 seconds East, a distance of 42.65 feet;

Thence South 76 degrees 00 minutes 04 seconds East, a distance of 7.64 feet;

Thence South 77 degrees 26 minutes 14 seconds East, a distance of 32.37 feet;

Thence South 13 degrees 58 minutes 07 seconds West, a distance of 43.44 feet;

Thence southerly 9.45 feet along the arc of a curve to the left having a radius of 80.00 feet, a chord bearing of South 10 degrees 35 minutes 03 seconds West, and a chord distance of 9.45 feet to the south line of the Northeast Quarter of said Section 4;

Thence South 87 degrees 01 minutes 37 seconds West along said south line, a distance of 40.46 feet to the Point of Beginning.

The above described parcel contains 2,334 square feet or 0.05 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

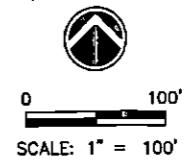
For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

**FOREST GROVE DRIVE**  
 PART OF THE SOUTHEAST QUARTER OF SECTION 4,  
 TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE  
 5th PRINCIPAL MERIDIAN, CITY OF BETTENDORF,  
 COUNTY OF SCOTT, STATE OF IOWA

**PARCEL 26**  
 OWNER: DARLENE M. SCHLUENSEN  
 DOC NO. WARRANTY DEED DOC. NO. 17003-90  
 EXCESS ROW AREA = 0.23 AC±  
 PERMANENT EASEMENT AREA = 0.02 AC±  
 ACCESS EASEMENT AREA = 0.03 AC±

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 87°01'37" E	271.37'	L8	N 81°49'17" W	57.31'
L2	S 81°49'17" E	39.89'	L9	N 83°08'52" W	39.76'
L3	S 01°53'38" E	25.29'	L10	S 02°58'23" E	50.00'
L4	S 87°01'37" W	310.02'	L11	S 87°01'37" W	25.96'
L5	N 02°58'23" W	33.00'	L12	N 05°08'47" E	50.51'
L6	N 87°01'37" E	56.46'	L13	N 87°01'37" E	18.82'
L7	S 01°53'38" E	10.16'			

BASIS OF BEARINGS  
 IOWA STATE PLANE COORDINATE SYSTEM,  
 SOUTH ZONE, NAD 83 - (1997 ADJUSTMENT)



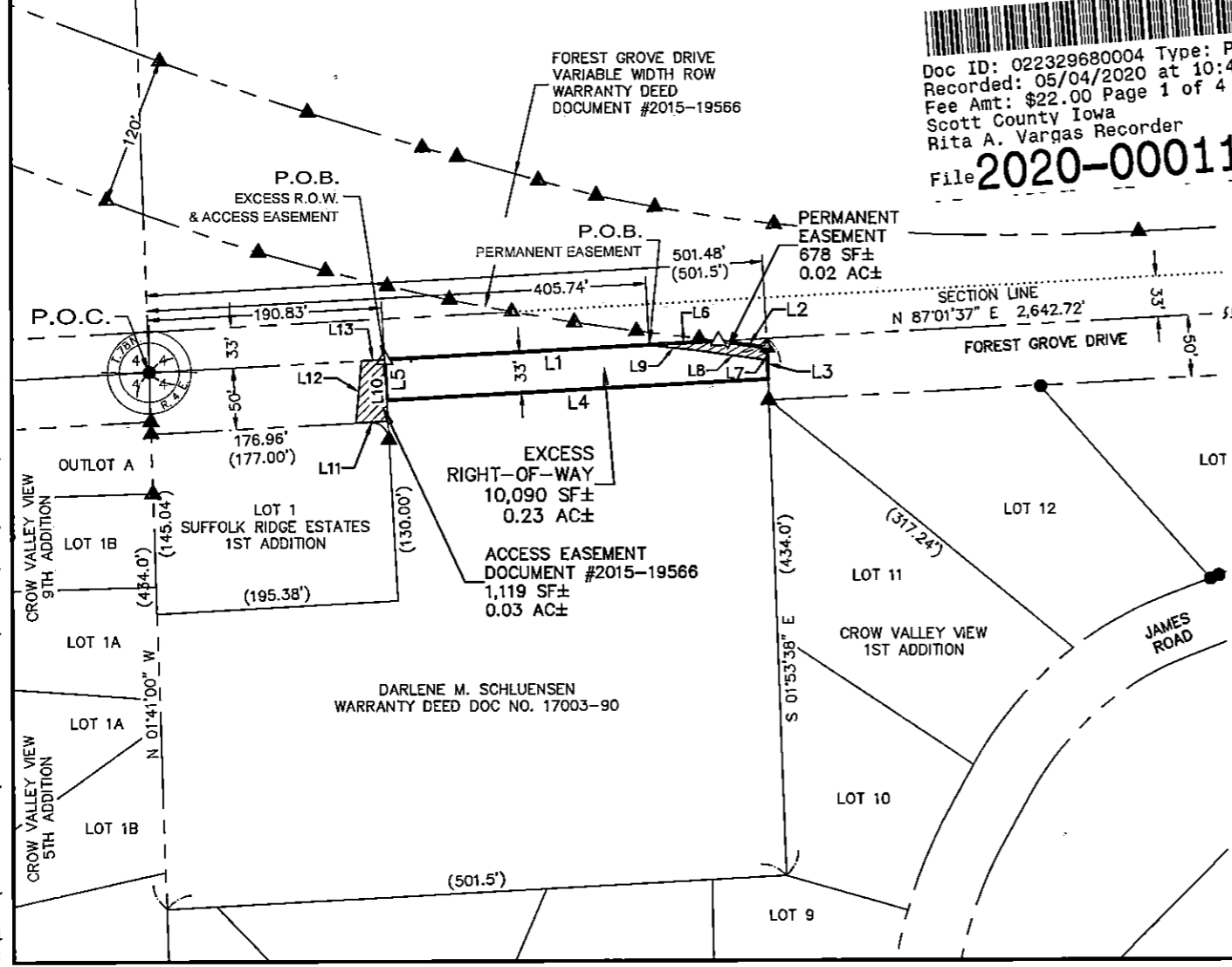
**LEGEND**

- REBAR, FOUND
- ▲ REBAR WITH CAP FOUND
- △ 5/8" REBAR WITH CAP SET
- SECTION CORNER
- MEASURED DIMENSION
- RECORDED DIMENSION
- LINE CONTINUATION
- PERMANENT EASEMENT AREA
- ACCESS EASEMENT AREA 1 & 2
- ACCESS EASEMENT AREA 3
- BOUNDARY OF EXCESS R.O.W.
- PROPERTY / LOT LINE
- CENTERLINE
- UNDERLYING PROPERTY LINE
- EXISTING EASEMENT LINE
- SECTION LINE
- EXISTING R.O.W. LINE

NOTE:  
 ACCESS EASEMENTS ACROSS THE PARCEL TO THE NORTH WERE  
 PREVIOUSLY CONVEYED AS PART OF DOCUMENT #2015-19566.  
 THE PERMANENT EASEMENT AS SHOWN HERE IS FOR ALL PUBLIC UTILITIES.

Doc ID: 022329680004 Type: PLA  
 Recorded: 05/04/2020 at 10:49:04 AM  
 Fee Amt: \$22.00 Page 1 of 4  
 Scott County Iowa  
 Rita A. Vargas Recorder  
 File **2020-00011942**

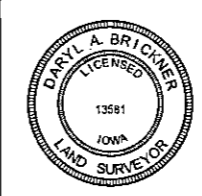
Sunday, April 19, 2020 1:11:52 PM  
 C:\2019\19002034\00\CAD-BIM FOLDERS\CIVL3D\DWG\SURVEY\PARCELS\PARCEL-26-EXCESS ROW.DWG



NO.	REVISIONS	DATE
1	UPDATED SEAL UNIT	4/17/2020
2	ADDED LOT ADDRESS EASEMENT	4/19/20



Forest Grove Drive  
 Bettendorf, Iowa  
 Excess R.O.W. and Easement Plat



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.  
 Daryl A. Brückner, PLS No. 13581 Date: 4/19/20  
 My license renewal date is December 31, 2021  
 No. of sheets covered by this seal: 1

IMEG Project No: 19002034.00
File Name: PARCEL-26-EXCESS ROW
Copyright © 2020 ALL RIGHTS RESERVED
Field Book No:
Drawn By: DAB
Checked By: JPJ
Date: 9/9/2019
<b>Plat</b>
Sheet 1 of 1

Excess Right of Way Description  
Parcel 26 – Darlene M. Schluensen

Part of the Southeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Bettendorf, County of Scott, State of Iowa, more particularly described as follows:

Commencing at the northwest corner of the Southeast Quarter of said Section 4;

Thence North 87 degrees 01 minute 37 seconds East along the north line of the Southeast Quarter of said Section 4, a distance of 190.83 feet to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates First Addition and the Point of Beginning;

Thence continuing North 87 degrees 01 minute 37 seconds East along said north line, a distance of 271.37 feet; Thence South 81 degrees 49 minutes 17 seconds East, a distance of 39.89 feet to the east line of a parcel conveyed by Warranty Deed recorded as Document No. 17003-90; Thence South 01 degrees 53 minutes 38 seconds East along said east line, a distance of 25.29 feet to the south right of way line of Forest Grove Drive; Thence South 87 degrees 01 minute 37 seconds West along said south right of way line, a distance of 310.02 feet to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates First Addition; Thence North 02 degrees 58 minutes 23 seconds West along said northerly projection, a distance of 33.00 feet to the Point of Beginning;

The above described parcel contains 10,090 square feet or 0.23 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Access Easement Description  
Parcel 26 – Darlene M. Schluensen

Part of the Southeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Bettendorf, County of Scott, State of Iowa, more particularly described as follows:

Commencing at the northwest corner of the Southeast Quarter of said Section 4;

Thence North 87 degrees 01 minutes 37 seconds East along the north line of the Southeast Quarter of said Section 4, a distance of 190.83 to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates First Addition and the Point of Beginning;

Thence South 02 degrees 58 minutes 23 seconds East along said northerly projection, a distance of 50.00 feet to the easterly projection of the north line of said Lot 1;

Thence South 87 degrees 01 minute 37 seconds West along said north line and its easterly projection, a distance of 25.96 feet;

Thence North 05 degrees 08 minutes 47 seconds East, a distance of 50.51 feet to the north line of the Southeast Quarter of said Section 4;

Thence North 87 degrees 01 minute 37 seconds East along said north line, a distance of 18.82 feet to the Point of Beginning.

The above described parcel contains 1,119 square feet or 0.03 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Permanent Easement Description  
Parcel 26 – Darlene M. Schluensen

Part of the Southeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Bettendorf, County of Scott, State of Iowa, more particularly described as follows:

Commencing at the northwest corner of the Southeast Quarter of said Section 4; Thence North 87. degrees 01 minutes 37 seconds East along the north line of the Southeast Quarter of said Section 4, a distance of 405.74 feet to the Point of Beginning;

Thence continuing North 87 degrees 01 minutes 37 seconds East along said north line, a distance of 56.46 feet to the southwesterly right of way line of Forest Grove Drive as established by Warranty Deed recorded as Document #2015-19566; Thence South 81 degrees 49 minutes 17 seconds East along said southwesterly right of way line, a distance of 39.89 feet to the east line of a parcel conveyed by Warranty Deed recorded as Document No. 17003-90; Thence South 01 degrees 53 minutes 38 seconds East along said east line, a distance of 10.16 feet; Thence North 81 degrees 49 minutes 17 seconds West, a distance of 57.31 feet; Thence North 83 degrees 08 minutes 52 seconds West, a distance of 39.76 feet to the Point of Beginning;

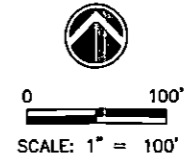
The above described parcel contains 678 square feet or 0.02 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

**FOREST GROVE DRIVE**  
 PART OF THE SOUTHEAST QUARTER OF SECTION 4,  
 TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE  
 5th PRINCIPAL MERIDIAN, CITY OF BETTENDORF,  
 COUNTY OF SCOTT, STATE OF IOWA

Doc ID: 022329660003 Type: PLA  
 Recorded: 05/04/2020 at 10:30:32 AM  
 Fee Amt: \$17.00 Page 1 of 3  
 Scott County Iowa  
 Rita A. Vargas Recorder  
 File **2020-00011940**

BASIS OF BEARINGS  
 IOWA STATE PLANE COORDINATE SYSTEM,  
 SOUTH ZONE, NAD 83 - (1997 ADJUSTMENT)



**PARCEL 27**  
 OWNER:  
 DOC NO.  
 EXCESS ROW AREA =  
 ACCESS EASEMENT AREA =

LISA M. SCHLUENSEN TRUST  
 DEED DOC. NO. 2015-13378  
 0.22 AC±  
 0.01AC±

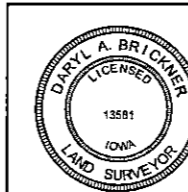
LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 87°01'37" E	190.83'	L5	N 87°01'37" E	21.64'
L2	S 02°58'23" E	65.00'	L6	S 05°08'47" W	30.48'
L3	S 87°01'37" W	176.96'	L7	S 87°01'37" W	16.88'
L4	N 01°41'00" W	50.01'	L8	N 02°58'23" W	33.00'

**LEGEND**

- REBAR, FOUND
- ▲ REBAR WITH CAP FOUND
- △ 5/8" REBAR WITH CAP SET
- SECTION CORNER
- 100.00' MEASURED DIMENSION
- (100.00') RECORDED DIMENSION
- LINE CONTINUATION
- ▨ ACCESS EASEMENT AREA
- BOUNDARY OF PARCEL
- PROPERTY / LOT LINE
- CENTERLINE
- UNDERLYING LOT LINE
- SECTION LINE
- EXISTING R.O.W. LINE

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DIST.
C1	23.56' (23.56')	15.00'	N 47°58'23" W	21.21' (21.21')
C2	2.87'	80.00'	S 06°10'23" W	2.87'

NOTE:  
 ACCESS EASEMENTS ACROSS THE PARCEL TO THE NORTH WERE  
 PREVIOUSLY CONVEYED AS PART OF DOCUMENT #2015-19566.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

*Daryl A. Brickner* 4/19/20 Date  
 Daryl A. Brickner, PLS No. 13581 Date  
 My license renewal date is December 31, 2021  
 No. of sheets covered by this seal: 1

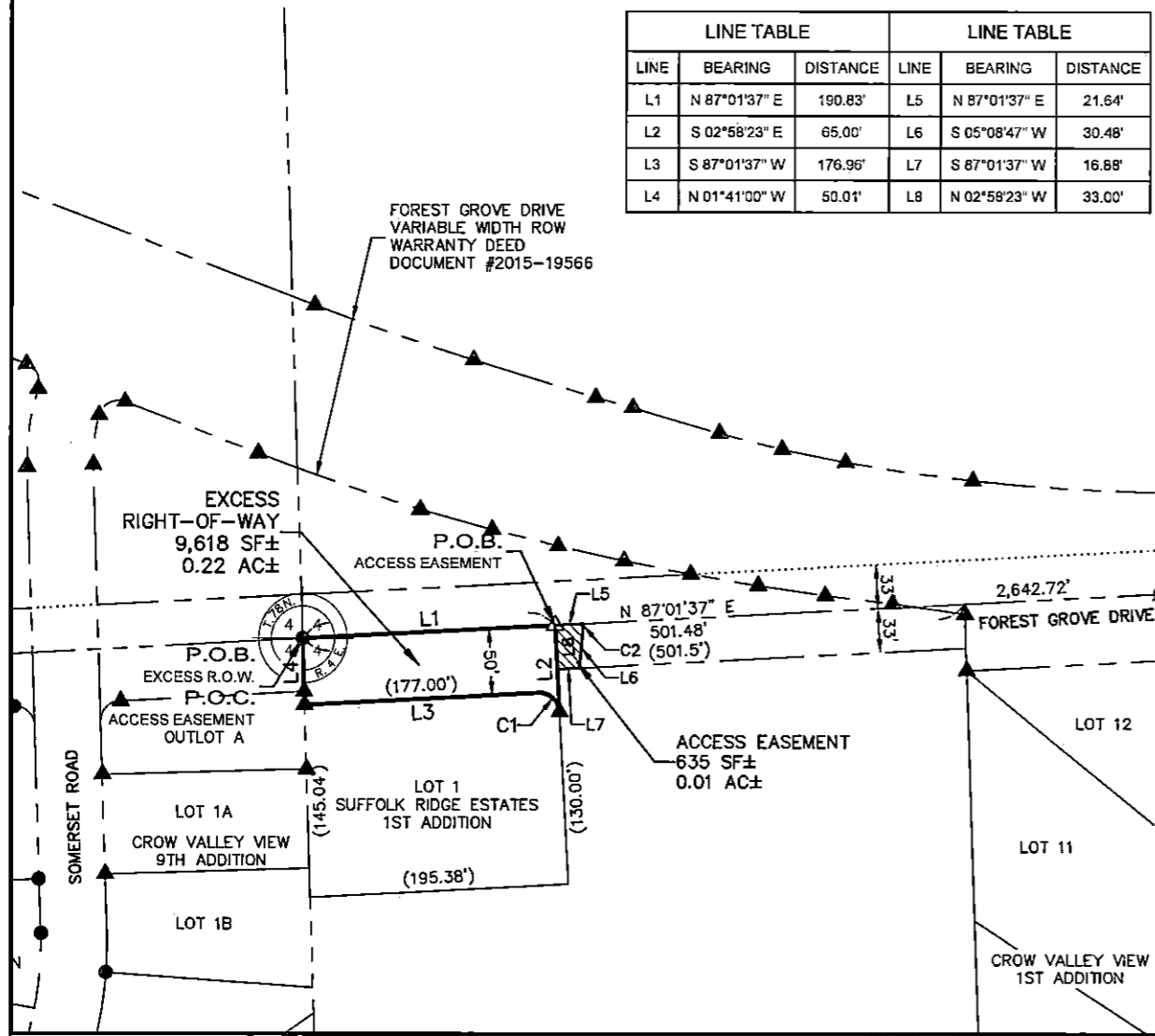
NO	REVISIONS	DESCRIPTION	DATE
1 <td>1</td> <td>UPDATED SEAL DATE</td> <td>4/14/2020</td>	1	UPDATED SEAL DATE	4/14/2020
2	2	ADDED NEW ACCESS EASEMENT	4/19/2020



Forest Grove Drive  
 Bettendorf, Iowa  
 Excess Right of Way & Easement Plat

IMEG Project No:  
 19002034.00  
 File Name:  
 PARCEL-27-EXCESS ROW  
 COPYRIGHT 2020  
 ALL RIGHTS RESERVED  
 Field Book No:  
 Drawn By: DAB  
 Checked By: JPU  
 Date: 9/9/2019  
**Plat**  
 Sheet 1 of 1

Sunday, April 19, 2020 1:18:50 PM  
 G:\2019\19002034.00\CAD-BIM FOLDERS\CIVIL3D\DWG\SURVEY\PARCELS\PARCEL-27-EXCESS ROW.DWG



### Excess Right of Way Description

Parcel 27 – Lisa M. Schluensen Trust

Part of the Southeast Quarter of Section 4, Township 78 North, Range 4 East of the 5th Principal Meridian, in the City of Davenport, County of Scott, State of Iowa, more particularly described as follows:

Beginning at the at the northwest corner of the southeast quarter of said Section 4; Thence North 87 degrees 01 minutes 37 seconds East along the north line of said Southeast Quarter of said Section 4, a distance of 190.83 feet to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates 1st Addition; Thence South 02 degrees 58 minutes 23 seconds East along said northerly projection, a distance of 65.00 feet to the northeasterly line of said Lot 1; Thence northwesterly 23.56 feet along said northeasterly line and the arc of a curve to the left, not tangent to the last described course, having a radius of 15.00 feet, a chord bearing of North 47 degrees 58 minutes 23 seconds West, and a chord distance of 21.21 feet to the north line of said Lot 1; Thence South 87 degrees 01 minutes 37 seconds West along said north line, a distance of 176.96 feet to the west line of the southeast quarter of said Section 4; Thence North 01 degrees 41 minutes 00 seconds West along said west line, a distance of 50.01 feet to the Point of Beginning.

The above described parcel contains 9,618 square feet or 0.22 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Access Easement Description

Parcel 27 – Terry A. Schluensen and Lisa M. Schluensen

Part of the Southeast Quarter of Section 4, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Bettendorf, County of Scott, State of Iowa, more particularly described as follows:

Commencing at the northwest corner of the Southeast Quarter of said Section 4;

Thence North 87 degrees 01 minute 37 seconds East along the north line of the Southeast Quarter of said Section 4, a distance of 190.83 feet to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates First Addition and the Point of Beginning;

Thence North 87 degrees 01 minute 37 seconds East along said north line, a distance of 21.64 feet;

Thence Southerly 2.87 feet along the arc of a curve to the left with a radius of 80.00 feet, a chord bearing of South 06 degrees 10 minutes 23 seconds West and a chord distance of 2.87 feet;

Thence South 05 degrees 08 minutes 47 seconds West, a distance of 30.48 feet to the south right of way line of Forest Grove Drive;

Thence South 87 degrees 01 minute 37 seconds West along said south right of way line, a distance of 16.88 feet to the northerly projection of the east line of Lot 1 of Suffolk Ridge Estates First Addition;

Thence North 02 degrees 58 minutes 23 seconds West along said northerly projection, a distance of 33.00 feet to the Point of Beginning.

The above described parcel contains 635 square feet or 0.01 acres, more or less as shown by the attached Excess Right of Way and Easement Plat.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Brent O. Morlok, P.E.  
City Engineer  
**WARD:** 5

**Item Title:**

Resolution awarding the contract and approving the contract and bond for the FG80 Site Development Sanitary and Storm Sewer Project.

**Explanation:**

In accordance with the approved development agreement for the FG80 Development project to be located at the northeast corner of the Forest Grove Dr. and Middle Rd. intersection, this project will include the construction of all public sanitary sewer and storm sewer mains to serve the development. Approximately 3,350 lineal feet of various diameter sanitary sewer main and 2,550 lineal feet of various diameter storm sewer main will be constructed.

Bids were opened on July 26, 2022. Hawkeye Sewer & Water Construction of Bettendorf, Iowa was the low bidder of nine (9) bids received. Bids ranged from the high of \$2,608,733.22 to the low of \$1,103,995.00, which is 26.4% below the engineer's estimate of \$1,500,000.00.

Staff is requesting a contingency be authorized in addition to the low bid total to cover unforeseen changes that may arise during construction.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:**

The overall FG80 Development / Forest Grove Drive Phase IV project is a multi-year project that was approved with multiple project numbers / budgets totaling \$3,800,000 within the Community Improvement Program (CIP). An additional \$1,100,391 grant was awarded through the State of Iowa RISE program which will go towards roadway construction for the project. It should be noted that the initial budget was prepared prior to this construction season's inflationary pricing, and staff anticipates that amount having to increase to cover the overall project cost. Changes will be reflected in the proposed CIP budget for construction in 2024.

**List Attachments:**

- Resolution
- Bid Tabulation
- Contract

RESOLUTION AWARDING THE CONTRACT AND APPROVING THE CONTRACT AND BOND  
FOR THE FG80 SITE DEVELOPMENT SANITARY AND STORM SEWER PROJECT

WHEREAS, plans, specifications, and form of contract were approved by this City Council for the construction of improvements to the sewer system of said City; namely, the

FG80 Site Development Sanitary and Storm Sewer Project

WHEREAS, bids were accepted for the construction of the above project on the 26<sup>th</sup> day of July, 2022, with Hawkeye Sewer & Water Construction submitting the lowest responsible bid in the amount of \$1,103,995.00 and

WHEREAS, appropriately executed contract and bond have been submitted by the Contractor in conformance with the plans and specifications as described above.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that

1. The bid of Hawkeye Sewer & Water Construction is hereby accepted for the FG80 Site Development Sanitary and Storm Sewer Project in the amount of \$1,103,995.00.
2. The Mayor and City Administrator are hereby authorized to sign the contract for the construction of said project.
3. The award of contract under this resolution is expressly subject to the bidder providing all necessary bonds and insurance documents; on the bidder's signing of the contract as provided in the notice to bidders, and no further facts or issues coming to light between the passage of this resolution and the actual signing of the contract by a representative of the City such as would cause the City to reconsider, defer, to stop the decision to enter into the contract.
4. A total purchase order amount of \$1,150,000, which contains the contingency, is hereby approved to cover any unforeseen changes that may arise during construction.

Passed, Approved and Adopted this 2<sup>nd</sup> day of August, 2022.

---

Robert S. Gallagher, Mayor

Attest:

---

Decker P. Ploehn, City Clerk

FG80 Site Development Sanitary and Storm Sewer

Bid Open: July 26, 2022 10:00a.m.

Line #	Description	QTY	UOM	Hawkeye Sewer & Water Cons		Legacy Corporation		Ethics Contracting LLC		five Cities Construction		Miller Trucking & Excavating		LANGMAN CONSTRUCTION, INC.		McCarthy Improvement Company		Valley Construction Company		Fischer Excavating, Inc.	
				Total Price	\$1,103,995.00	Total Price	\$1,478,880.00	Total Price	\$1,537,517.55	Total Price	\$1,538,888.00	Total Price	\$1,551,357.00	Total Price	\$1,748,985.00	Total Price	\$2,172,693.00	Total Price	\$2,569,740.00	Total Price	\$2,608,733.22
				Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended
1	Sanitary Sewer Gravity Main, Trenched, PVC, DR-25 C900, 12"	2597	LF	<u>\$99.00</u>	\$257,103.00	\$120.20	\$312,159.40	\$161.40	\$419,155.80	\$143.00	\$371,371.00	\$149.00	\$386,953.00	\$204.00	\$529,788.00	\$233.00	\$605,101.00	\$315.00	\$818,055.00	\$239.59	\$622,215.23
2	Sanitary Sewer Gravity Main, Trenched, PVC, DR-25 C900, 8"	673	LF	<u>\$57.00</u>	\$38,361.00	\$71.50	\$48,119.50	\$108.25	\$72,852.25	\$133.00	\$89,509.00	\$117.00	\$78,741.00	\$185.00	\$124,505.00	\$136.00	\$91,528.00	\$295.00	\$198,535.00	\$139.79	\$94,078.67
3	Sanitary Sewer Service Stub, PVC, DR-25 C900, 8"	292	LF	\$142.00	\$41,464.00	\$140.10	\$40,909.20	\$160.00	\$46,720.00	<u>\$110.00</u>	\$32,120.00	\$135.00	\$39,420.00	\$160.00	\$46,720.00	\$181.00	\$52,852.00	\$385.00	\$112,420.00	\$149.13	\$43,545.96
6	Storm Sewer, Trenched, 48"	1211	LF	<u>\$160.00</u>	\$193,760.00	\$250.40	\$303,234.40	\$264.00	\$319,704.00	\$245.00	\$296,695.00	\$215.00	\$260,365.00	\$228.00	\$276,108.00	\$282.00	\$341,502.00	\$405.00	\$490,455.00	\$634.20	\$768,016.20
7	Storm Sewer, Trenched, 42"	353	LF	<u>\$173.00</u>	\$61,069.00	\$220.00	\$77,660.00	\$243.50	\$85,955.50	\$210.00	\$74,130.00	\$225.00	\$79,425.00	\$200.00	\$70,600.00	\$231.00	\$81,543.00	\$355.00	\$125,315.00	\$444.16	\$156,788.48
8	Storm Sewer, Trenched, 36"	613	LF	<u>\$99.00</u>	\$60,687.00	\$184.00	\$112,792.00	\$175.00	\$107,275.00	\$155.00	\$95,015.00	\$172.00	\$105,436.00	\$163.00	\$99,919.00	\$181.00	\$110,953.00	\$210.00	\$128,730.00	\$325.78	\$199,703.14
9	Storm Sewer, Trenched, 30"	86	LF	<u>\$76.00</u>	\$6,536.00	\$160.20	\$13,777.20	\$170.00	\$14,620.00	\$145.00	\$12,470.00	\$285.00	\$24,510.00	\$165.00	\$14,190.00	\$184.00	\$15,824.00	\$200.00	\$17,200.00	\$238.67	\$20,525.62
10	Storm Sewer, Trenched, 24"	236	LF	<u>\$65.00</u>	\$15,340.00	\$124.40	\$29,358.40	\$115.00	\$27,140.00	\$98.00	\$23,128.00	\$167.00	\$39,412.00	\$130.00	\$30,680.00	\$115.00	\$27,140.00	\$130.00	\$30,680.00	\$177.99	\$42,005.64
11	Trench Foundation Stabilization Estimate	4150	TON	\$14.50	\$60,175.00	\$20.00	\$83,000.00	\$24.00	\$99,600.00	\$33.00	\$136,950.00	\$27.00	\$112,050.00	<u>\$10.00</u>	\$41,500.00	\$60.00	\$249,000.00	\$50.00	\$207,500.00	\$56.41	\$234,101.50
12	Concrete Flared End Section, 48"	2	EA	\$12,000.00	\$24,000.00	\$16,607.50	\$33,215.00	\$7,900.00	\$15,800.00	<u>\$4,000.00</u>	\$8,000.00	\$6,000.00	\$12,000.00	\$5,500.00	\$11,000.00	\$5,250.00	\$10,500.00	\$7,750.00	\$15,500.00	\$10,453.08	\$20,906.16
13	Concrete Flared End Section, 36"	1	EA	\$8,000.00	\$8,000.00	\$11,297.50	\$11,297.50	\$6,200.00	\$6,200.00	<u>\$3,000.00</u>	\$3,000.00	\$5,000.00	\$5,000.00	\$4,500.00	\$4,500.00	\$3,350.00	\$3,350.00	\$6,750.00	\$6,750.00	\$8,081.27	\$8,081.27
14	Sanitary Manhole, 60"	1	EA	<u>\$5,500.00</u>	\$5,500.00	\$12,234.80	\$12,234.80	\$8,500.00	\$8,500.00	\$15,000.00	\$15,000.00	\$7,250.00	\$7,250.00	\$8,250.00	\$8,250.00	\$8,790.00	\$8,790.00	\$15,000.00	\$15,000.00	\$14,198.27	\$14,198.27
15	Sanitary Manhole, 48"	12	EA	\$7,000.00	\$84,000.00	\$10,612.40	\$127,348.80	\$7,650.00	\$91,800.00	\$7,800.00	\$93,600.00	\$12,000.00	\$144,000.00	<u>\$6,850.00</u>	\$82,200.00	\$9,060.00	\$108,720.00	\$14,500.00	\$174,000.00	\$9,404.05	\$112,848.60
16	Chimney Seals	13	EA	\$1,000.00	\$13,000.00	\$1,290.00	\$16,770.00	\$640.00	\$8,320.00	\$2,300.00	\$29,900.00	\$515.00	\$6,695.00	\$300.00	\$3,900.00	\$655.00	\$8,515.00	\$1,450.00	\$18,850.00	<u>\$48.53</u>	\$630.89
17	Storm Manhole, 48"	1	EA	\$5,500.00	\$5,500.00	\$8,772.40	\$8,772.40	\$5,525.00	\$5,525.00	\$7,800.00	\$7,800.00	\$6,500.00	\$6,500.00	<u>\$4,300.00</u>	\$4,300.00	\$6,330.00	\$6,330.00	\$5,550.00	\$5,550.00	\$4,802.26	\$4,802.26
18	Storm Manhole, 60"	1	EA	\$6,000.00	\$6,000.00	\$11,187.40	\$11,187.40	\$8,550.00	\$8,550.00	\$14,000.00	\$14,000.00	\$7,500.00	\$7,500.00	<u>\$5,400.00</u>	\$5,400.00	\$7,560.00	\$7,560.00	\$8,000.00	\$8,000.00	\$8,391.53	\$8,391.53
19	Storm Manhole, 72"	3	EA	<u>\$8,500.00</u>	\$25,500.00	\$16,642.40	\$49,927.20	\$11,800.00	\$35,400.00	\$21,000.00	\$63,000.00	\$12,000.00	\$36,000.00	\$9,000.00	\$27,000.00	\$13,525.00	\$40,575.00	\$11,500.00	\$34,500.00	\$16,739.97	\$50,219.91
20	Storm Manhole, 84"	5	EA	<u>\$16,000.00</u>	\$80,000.00	\$22,967.40	\$114,837.00	\$20,500.00	\$102,500.00	\$23,000.00	\$115,000.00	\$22,500.00	\$112,500.00	\$19,175.00	\$95,875.00	\$28,300.00	\$141,500.00	\$17,500.00	\$87,500.00	\$27,697.19	\$138,485.95
21	Storm Manhole, 96"	2	EA	\$25,000.00	\$50,000.00	\$30,887.40	\$61,774.80	\$27,750.00	\$55,500.00	\$27,000.00	\$54,000.00	\$25,000.00	\$50,000.00	<u>\$22,675.00</u>	\$45,350.00	\$48,500.00	\$97,000.00	\$26,000.00	\$52,000.00	\$32,710.17	\$65,420.34
22	RIPRAP Stone	40	TON	\$50.00	\$2,000.00	<u>\$47.00</u>	\$1,880.00	\$85.00	\$3,400.00	\$55.00	\$2,200.00	\$65.00	\$2,600.00	\$55.00	\$2,200.00	\$67.75	\$2,710.00	\$80.00	\$3,200.00	\$81.69	\$3,267.60
24	Traffic Control	1	LS	\$66,000.00	\$66,000.00	\$8,625.00	\$8,625.00	\$3,000.00	\$3,000.00	\$2,000.00	\$2,000.00	\$35,000.00	\$35,000.00	\$225,000.00	\$225,000.00	\$161,700.00	\$161,700.00	\$20,000.00	\$20,000.00	<u>\$500.00</u>	\$500.00

**FORM OF CONTRACT**

**THIS CONTRACT**, made the 2nd day of August, A.D., 2022, by and between **Hawkeye Sewer and Water**, hereinafter called the "Contractor", and the City of Bettendorf, Scott County, Iowa, hereinafter called the "City",

WITNESSETH, That the Contractor and the City for the consideration stated herein agree as follows:

**ARTICLE I. SCOPE OF WORK** - The Contractor shall perform everything required to be performed and shall provide and furnish all of the labor, materials, necessary tools, expendable equipment, and all utility and transportation services required to perform and complete in a workmanlike manner all the work required in connection with the construction of the **FG80 Site Development Sanitary & Storm Sewer Project**, all in strict accordance with the plans and specifications, including any and all addenda prepared by the Engineering Division of the Public Works Department of the City of Bettendorf, Iowa, which plans and specifications are made a part of this contract; and in strict compliance with the Contractor's proposal and the other contract documents herein mentioned which are a part of this contract. The Contractor shall do everything required by this contract and the other documents constituting a part thereof.

**ARTICLE II. THE CONTRACT PRICE** - The City shall pay to the Contractor for the performance of this contract, subject to any additions or deductions provided therein, in current funds, the contract price of:

1,103,995.00

computed as follows:

<b>FG80 Site Development Sanitary &amp; Storm Sewer</b>		Quantity	Units	Unit Price	Total Price
Item	Item Description				
1	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, DR-25 C900, 12"	2597	LF	\$ 99.00	\$ 257,103.00
2	SANITARY SEWER GRAVITY MAIN, TRENCHED, PVC, DR-25 C900, 8"	673	LF	\$ 57.00	\$ 38,361.00
3	SANITARY SEWER SERVICE STUB, PVC, DR-25 C900, 8"	292	LF	\$ 142.00	\$ 41,464.00
4	STORM SEWER, TRENCHED, 48"	1211	LF	\$ 160.00	\$ 193,760.00
5	STORM SEWER TRENCHED, 42"	353	LF	\$ 173.00	\$ 61,069.00
6	STORM SEWER TRENCHED, 36"	613	LF	\$ 99.00	\$ 60,687.00
7	STORM SEWER TRENCHED, 30"	86	LF	\$ 76.00	\$ 6,536.00
8	STORM SEWER TRENCHED, 24"	236	LF	\$ 65.00	\$ 15,340.00
9	TRENCH FOUNDATION STABILIZATION ESTIMATE	4150	TON	\$ 14.50	\$ 60,175.00
10	CONCRETE FLARED END SECTION, 48"	2	EA	\$ 12,000.00	\$ 24,000.00
11	CONCRETE FLARED END SECTION, 36"	1	EA	\$ 8,000.00	\$ 8,000.00
12	SANITARY MANHOLE, 60"	1	EA	\$ 5,500.00	\$ 5,500.00
13	SANITARY MANHOLE, 48"	12	EA	\$ 7,000.00	\$ 84,000.00
14	CHIMNEY SEALS	13	EA	\$ 1,000.00	\$ 13,000.00
15	STORM MANHOLE, 48"	1	EA	\$ 5,500.00	\$ 5,500.00
16	STORM MANHOLE, 60"	1	EA	\$ 6,000.00	\$ 6,000.00
17	STORM MANHOLE, 72"	3	EA	\$ 8,500.00	\$ 25,500.00
18	STORM MANHOLE, 84"	5	EA	\$ 16,000.00	\$ 80,000.00
19	STORM MANHOLE, 96"	2	EA	\$ 25,000.00	\$ 50,000.00
20	RIPRAP STONE	40	TON	\$ 50.00	\$ 2,000.00
21	TRAFFIC CONTROL	1	LS	\$ 66,000.00	\$ 66,000.00

**Total Base Bid: \$ 1,103,995.00**

**ARTICLE III. UNIT PRICES FOR CHANGES**- Not applicable to this contract.

**ARTICLE IV. PAYMENTS**- Payments are to be made to the Contractor in accordance with and subject to the provisions embodied in the documents made a part of this Contract.

**ARTICLE V. CONTRACT TIME-** The bidder to whom the Contract is awarded shall commence work no later than the date to begin work set forth in a Notice to Proceed from the City or its authorized representative, to the Contractor. All work shall be done in strict compliance with the plans and specifications prepared by the Engineer of the Engineering Division of the Public Works Department of Bettendorf, Iowa.

All work on this contract shall be completed by December 16, 2022. The beginning and completion dates will be included in and made part of the contract between the successful bidder and the City. Liquidated damages in the amount of Five Hundred Dollars and no/100 (\$500.00) per calendar day shall be charged for every day past the completion date.

**ARTICLE VI. COMPONENT PARTS OF THIS CONTRACT** - This contract consists of the following component parts, all of which are as fully a part of this contract as if herein set out verbatim, or, if not attached, as if hereto attached. In the event that any provision in any of the component parts of this contract conflicts with any provision in any other of the component parts, the provision in the first item listed shall control over the second item listed, which shall control over the third item listed, etc.

- 1) Addenda to Project Documents
- 2) Special Conditions
- 3) Plan Drawings
- 4) Supplemental General Conditions
- 5) General Conditions
- 6) City of Bettendorf Standard Drawings
- 7) City of Bettendorf Standard Specifications
- 8) Iowa D.O.T., AASHTO, ANSI and ASTM Specifications referenced in the above documents
- 9) Contract with the City
- 10) Contractor's Performance and Payment and Maintenance Bond
- 11) Contractor's Proposal
- 12) Notice to Bidders
- 13) Instructions to Bidders
- 14) Non-Collusion Affidavit

IN WITNESS WHEREOF, the parties hereto have caused this Instrument to be executed in three original counterparts the date and year first above written.

Hawkeye Sewer and Water  
\_\_\_\_\_  
(Contractor)

By \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Title

ATTEST:

\_\_\_\_\_

\_\_\_\_\_

Title

CITY OF BETTENDORF, IA

\_\_\_\_\_  
Robert S. Gallagher  
Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn  
City Clerk

This Instrument approved by the City Council of the City of Bettendorf, Iowa, pursuant to Resolution Number \_\_\_\_\_ passed \_\_\_\_\_, 20\_\_\_\_.



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Jerry Bishop  
Civil Engineer  
**WARD:** All

<p><b>Item Title:</b></p> <p>Resolution accepting improvements for the 2021 Full Depth Patching Program.</p>
<p><b>Explanation:</b></p> <p>The improvements consisted of full-depth concrete patching, utility structure repairs and adjustments, and other work associated with the replacement of nearly 9,000 square yards of existing pavement along various streets within the City of Bettendorf, Iowa.</p> <p>Hawkeye Paving Corp. of Bettendorf, Iowa has satisfactorily completed all work on the project. The final construction cost for the project was \$1,011,255.70.</p> <p>Relationship to Goals: Upgraded City Infrastructure &amp; Public Facilities.</p>
<p><b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</b></p> <p>This project (PW0518) was approved with a total budget of \$1,000,000.00 within the Community Improvement Program. The initial purchase order was approved for \$1,000,000.00 and the final construction cost was \$1,011,255.70. The additional construction costs will be covered by funds made available due to other CIP projects that were completed under budget.</p> <p><b>List Attachments:</b></p> <ul style="list-style-type: none"><li>Resolution</li><li>CIP Worksheet</li><li>Contractor Evaluation Report</li></ul>

RESOLUTION NO. \_\_\_\_\_-22

RESOLUTION ACCEPTING IMPROVEMENTS FOR THE 2021 FULL DEPTH PATCHING  
PROGRAM

WHEREAS, on the 20<sup>th</sup> day of April, 2021, the City of Bettendorf entered into contract with Hawkeye Paving Corp. of Bettendorf, Iowa for the construction of certain improvements to the street system of said City; namely, the

2021 Full Depth Patching Program

WHEREAS, the contractor has completed the construction of the improvements in the City in substantial compliance with the terms and conditions of the contract and plans and specifications.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that the project is adopted as having been completed in substantial compliance with the specifications and contract. The total project cost thereof is hereby determined to be \$1,022,028.00.

Passed, Approved and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk







**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Jerry Bishop  
Civil Engineer  
**WARD:** All

<b>Item Title:</b>  Resolution accepting improvements for the 2021 Street Resurfacing Program.
<b>Explanation:</b>  The improvements consisted of pavement removal, installing granular subbase, full depth resurfacing various streets with Hot Mix Asphalt (HMA), constructing handicap accessible ramps and other related work within the City of Bettendorf, Iowa.  Langman Construction, Inc. of Rock Island, Illinois has satisfactorily completed all work on the project. The final construction cost for the project was \$985,865.60.  Relationship to Goals: Upgraded City Infrastructure & Public Facilities.
<b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</b>  This project (PW0517) was approved with a total budget of \$1,000,000.00 within the Community Improvement Program.
<b>List Attachments:</b> Resolution CIP Worksheet Contractor Evaluation Report

RESOLUTION NO. \_\_\_\_\_-22

RESOLUTION ACCEPTING IMPROVEMENTS FOR THE 2021 STREET RESURFACING  
PROGRAM

WHEREAS, on the 6<sup>th</sup> day of April, 2021, the City of Bettendorf entered into contract with Langman Construction, Inc. of Rock Island, Illinois for the construction of certain improvements to the street system of said City; namely, the

2021 Street Resurfacing Program

WHEREAS, the contractor has completed the construction of the improvements in the City in substantial compliance with the terms and conditions of the contract and plans and specifications.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that the project is adopted as having been completed in substantial compliance with the specifications and contract. The total project cost thereof is hereby determined to be \$990,516.45.

Passed, Approved and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

## CITY OF BETTENDORF COMMUNITY IMPROVEMENT PROJECT SUMMARY SHEET

<b>Project Description:</b>	<b>2021 Street Resurfacing Program</b>		
<b>Project Manager:</b>	Jerry Bishop	<b>Project #:</b>	PW0517
<b>CIP Budget:</b>	1,000,000.00	<b>FY Budgeted:</b>	21/22
<b>Funding Source:</b>	G.O. Bonds	<b>Resol. for award:</b>	97-21
<b>Purchase Order Amount:</b>	1,000,000.00		
<b>Final Total Project Cost:</b>	990,516.45		

**Change Orders Detail** (Insert Rows/Categories as Necessary)

CO Number	Description		Actual
			-
			-
			-
<b>Total Change Orders Amount</b>			-

**Project Cost Summary** (Insert Rows/Categories as Necessary)

Expenditure Category	Vendor / Description		Actual
Construction Contract	Langman Construction		985,865.60
Testing	Terracon		3,190.80
Irrigation Repairs	Suburban Landscape		551.20
Irrigation Repairs	Rainmaster Irrigation		908.85
<b>Final Total Project Cost</b>			990,516.45

**CITY OF BETTENDORF  
CONTRACTOR EVALUATION REPORT**

Projects: PW0517- 2021 Street Resurfacing Program

Contractor: Langman Construction (Vendor #4316)

 Primary

 Subcontract

Point Range      Score      Points Earned

**WORK PERFORMANCE: 55%**

A. Completion on schedule . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.275 =	<input type="text" value="0.83"/>
B. Quality of the finished product . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.275 =	<input type="text" value="0.83"/>

**CONTINUITY OF WORK SCHEDULE: 20%**

C. Minimum gaps between work days . . . . .	0 to 3	<input type="text" value="2.0"/>	x 0.20 =	<input type="text" value="0.40"/>
---	--------	----------------------------------	----------	-----------------------------------

**ORGANIZATION / MANAGEMENT: 15%**

D. Coordination with suppliers, other contractors and utilities, and engineer . . . . .	0 to 3	<input type="text" value="2.0"/>	x 0.05 =	<input type="text" value="0.10"/>
E. Adequate and competent labor force . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.05 =	<input type="text" value="0.15"/>
F. Inappropriate behavior, language, dealing with citizens, attitude . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.05 =	<input type="text" value="0.15"/>

**EQUIPMENT: 10%**

G. Equipment on project . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.05 =	<input type="text" value="0.15"/>
H. General project safety, signage and traffic control . . . . .	0 to 3	<input type="text" value="3.0"/>	x 0.05 =	<input type="text" value="0.15"/>

Initial Rating:

Liens Filed - If lien(s) have been filed . . . . . 0 or -1

**Final Rating:**

**Ratings:**

- Less than 1 - Contractor not allowed to work on City of Bettendorf contracts for five years.
- Between 1 and 2 - Contractor to appear before City Council with proof of changes/adjustments in organization.
- Greater than 2 - Satisfactory work.

**REMARKS:** (Required for Item(s) rated less than 2.)

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

Field Inspector \_\_\_\_\_ Date \_\_\_\_\_  
 7-22-22  
 Engineer \_\_\_\_\_ Date \_\_\_\_\_

Chief Inspector \_\_\_\_\_ Date 7/22/22  
 S. Boone Zimmerman  
 Contractor \_\_\_\_\_ Date \_\_\_\_\_



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Jerry Bishop  
Civil Engineer  
**WARD:** 5

<p><b>Item Title:</b></p> <p>Resolution accepting improvements for the Forest Grove Elementary Turn Lane Project.</p>
<p><b>Explanation:</b></p> <p>The improvements consisted of constructing a 12 foot wide turn lane along the north side of Forest Grove Drive to serve the new Forest Grove Elementary School being constructed. Specifically the work included approximately 725 tons of Hot Mix Asphalt (HMA) pavement, 2,300 square yards of granular subbase, 540 square yards of granular shoulder, traffic control, pavement markings and related construction.</p> <p>As part of the intergovernmental agreement (28E) approved between the City and the Pleasant Valley School District (PVSD), the City agreed to utilize our public bidding and construction experience to construct this turn lane for the school. The City will pay for the improvements up front and be reimbursed by PVSD at the completion of the overall project which includes the cost-shared facilities at the school and Forest Grove Park.</p> <p>Needham Excavating, Inc. of Walcott, Iowa has satisfactorily completed all work on the project. The final construction cost for the project was \$160,982.76.</p> <p>Relationship to Goals: Upgraded City Infrastructure &amp; Public Facilities.</p>
<p><b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</b></p> <p>This project (PW0507) was approved with a total budget of \$165,000.00 within the Community Improvement Program.</p> <p><b>List Attachments:</b></p> <ul style="list-style-type: none"><li>Resolution</li><li>CIP Worksheet</li><li>Contractor Evaluation Report</li></ul>

RESOLUTION NO. \_\_\_\_\_-22

RESOLUTION ACCEPTING IMPROVEMENTS FOR THE FOREST GROVE ELEMENTARY  
TURN LANE PROJECT

WHEREAS, on the 2<sup>nd</sup> day of June, 2020, the City of Bettendorf entered into contract with Needham Excavating, Inc. of Walcott, Iowa for the construction of certain improvements to the street system of said City; namely, the

Forest Grove Elementary Turn Lane Project

WHEREAS, the contractor has completed the construction of the improvements in the City in substantial compliance with the terms and conditions of the contract and plans and specifications.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that the project is adopted as having been completed in substantial compliance with the specifications and contract. The total project cost thereof is hereby determined to be \$160,982.76.

Passed, Approved and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**CITY OF BETTENDORF  
CONTRACTOR EVALUATION REPORT**

Projects: PW0507- Forest Grove Elementary Turn Lane

Contractor: Needham Construction (Vendor #7752)

 Primary

 Subcontract

Point Range	Score	Points Earned
-------------	-------	---------------

**WORK PERFORMANCE: 55%**

A. Completion on schedule . . . . .	0 to 3	2.0	x 0.275 =	0.55
B. Quality of the finished product . . . . .	0 to 3	3.0	x 0.275 =	0.83

**CONTINUITY OF WORK SCHEDULE: 20%**

C. Minimum gaps between work days . . . . .	0 to 3	2.0	x 0.20 =	0.40
---	--------	-----	----------	------

**ORGANIZATION / MANAGEMENT: 15%**

D. Coordination with suppliers, other contractors and utilities, and engineer . . . . .	0 to 3	3.0	x 0.05 =	0.15
E. Adequate and competent labor force . . . . .	0 to 3	3.0	x 0.05 =	0.15
F. Inappropriate behavior, language, dealing with citizens, attitude . . . . .	0 to 3	3.0	x 0.05 =	0.15

**EQUIPMENT: 10%**

G. Equipment on project . . . . .	0 to 3	3.0	x 0.05 =	0.15
H. General project safety, signage and traffic control . . . . .	0 to 3	3.0	x 0.05 =	0.15

Initial Rating: **2.53**

Liens Filed - If lien(s) have been filed . . . . . 0 or -1 **0.00**

Final Rating: **2.53**

- Ratings:
- Less than 1 - Contractor not allowed to work on City of Bettendorf contracts for five years.
  - Between 1 and 2 - Contractor to appear before City Council with proof of changes/adjustments in organization.
  - Greater than 2 - Satisfactory work.

REMARKS: (Required for Item(s) rated less than 2.)

---

---

---

---

---

---

---

---

---

---

Field Inspector  Date 7-25-22

Engineer \_\_\_\_\_ Date \_\_\_\_\_

Chief Inspector  Date \_\_\_\_\_

Contractor  Date 07/25/22



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Chris Garman  
Streets and Solid Waste Supervisor  
**WARDS:** All

**Item Title:**

Resolution approving the purchase of road de-icing salt from Compass Minerals America, Inc. in the amount of \$372,187.20.

**Explanation:**

The Iowa Department of Transportation (IDOT) let bids for road de-icing salt on May 31, 2022. Compass Minerals America, Inc. received the state bid. The City of Bettendorf ordered 4,200 tons of salt from the state bid at the cost of \$80.56/ton delivered, which is an increase of \$10.42/ton from last year's bid of \$70.14/ton.

The IDOT bid stipulates that the City must purchase a minimum of 50% of the order (2,100 ton), and the supplier guarantees to provide no more than 110% of the order (4,620 ton). This resolution will authorize the contractor to be awarded the full amount of 4,620 tons if needed.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

The Public Works Operations Department has \$435,000 budget under operating supplies in the FY 22/23 budget.

**List Attachments:**

Resolution  
IDOT Rock Salt Contract #2021-8371

RESOLUTION APPROVING THE PURCHASE OF ROAD DE-ICING SALT  
FROM COMPASS MINERALS AMERICA, INC. IN THE AMOUNT OF \$372,187.20

WHEREAS:

1. The City's purchasing policies require that any contract purchases in the amount of \$25,000 or greater be approved by a City Council resolution; and
2. The City requires road de-icing salt in order to keep the roads safe and passable during the winter months; and
3. This purchase will be made through the Iowa state bid, which is consistent with the City's purchasing policies; and
4. The Iowa Department of Transportation (IDOT) let bids for road de-icing salt on May 31, 2022, and
5. The IDOT has awarded the contract to the lowest, responsive and responsible bidder, Compass Minerals America, Inc., and
6. The City of Bettendorf ordered 4,200 tons of road de-icing salt from the IDOT state bid and may purchase up to 4,620 tons.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the Director of Public Works is hereby authorized and directed to issue a Purchase Order to Compass Minerals America, Inc. in the amount of \$372,187.20 for 4,620 tons of road de-icing salt.

Passed, Approved, and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



RE: Contract documents

Attached is an Iowa DOT Purchasing Section contract agreement. Please read and sign within five business days of receiving this notification.

Submit the following additional documents indicated with "X":

Required	Additional Documentation
	Certificate of liability insurance in which the Iowa DOT is listed as additional insured.
	Contractor Performance Bond
	Spraying license
	Permits
	Builders risk insurance

The countersigned contract will be returned electronically upon execution.

Sincerely,

The Purchasing Section

*To sign up for electronic payment please complete and mail or fax the Electronic Fund Transfer (EFT) form separately to:*

*Dept. of Administrative Services-State Accounting Enterprise*

*Attn: EFT Coordinator*

*Hoover State Office Building, 3<sup>rd</sup> Fl.*

*Des Moines, IA 50319*

*Fax: 515-281-5255*

*Electronic Fund Transfer (EFT) form can be found at:*

[https://das.iowa.gov/sites/default/files/acct\\_sae/man\\_for\\_ref/forms/eft\\_authorization\\_form.pdf](https://das.iowa.gov/sites/default/files/acct_sae/man_for_ref/forms/eft_authorization_form.pdf)

May 27, 2022

**Contract Amendment - 1  
For  
Rock Salt for FY2022 and FY2023  
Contract Number: 2021-8371**

Upon mutual agreement, the undersigned parties below agree to the following change(s) as allowed by contract and identified herein.

This document will serve as an amendment and renewal.  
Amendment 1 is to change the minimum purchase amount from 80% to 50% for the FY22 Rock Salt Contract # 2021-8371.

The FY23 contract renewal is for an additional one (1) Year period as defined in the attached FY23 Compass Pricing Sheet. The renewal will be based on the same terms and conditions as the original contract language. New contract expiration date: 05/31/23

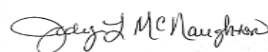
COMPASS MINERALS AMERICA INC  
9900 West 109Th St., Ste. 600  
Overland Park, Kansas, 66210  
Attention: Jon Schneiders

Phone: 8003231641  
Email: highwaygroup@compassminerals.com

COMPASS MINERALS AMERICA  
INC  
(Supplier)

Iowa Department of Transportation  
Administrative Services Division  
Jody McNaughton, Procurement & Distribution Operations Manager  
(Agency)

**Schneiders**



Jon Schnieders

May 31, 2022

Vice President, Highway and Chemical

May 27, 2022

Compass Minerals America Inc				
		2023 Proposed price		
Line #	Description	Estimated 2023 QTY	Unit price per ton	Extended
1	<b>DOT Garage Combination Decorah Cresco</b>			
1.1	ROCK SALT-WINTER RESUPPLY - Decorah Garage	1300	\$ 94.29	\$ 122,577.00
1.2	ROCK SALT-WINTER RESUPPLY - Cresco off-site	200	\$ 102.60	\$ 20,520.00
7	<b>DOT Garage Combination Tipton Stanwood</b>			\$ -
7.1	ROCK SALT-WINTER RESUPPLY - Tipton Garage	2200	\$ 85.07	\$ 187,154.00
7.2	ROCK SALT-WINTER RESUPPLY - Stanwood off-site	200	\$ 94.19	\$ 18,838.00
8	<b>DOT Garage Combination DeWitt Clinton</b>			\$ -
8.1	ROCK SALT-WINTER RESUPPLY - DeWitt Garage	2500	\$ 83.76	\$ 209,400.00
8.2	ROCK SALT-WINTER RESUPPLY - Clinton off-site	200	\$ 92.82	\$ 18,564.00
27	ROCK SALT-WINTER RESUPPLY - Charles City DOT Garage	1500	\$ 93.28	\$ 139,920.00
33	ROCK SALT-WINTER RESUPPLY - Hanlontown DOT Garage	1200	\$ 101.95	\$ 122,340.00
35	ROCK SALT-WINTER RESUPPLY - Waukon DOT Garage	900	\$ 88.10	\$ 79,290.00
36	ROCK SALT-WINTER RESUPPLY - Waterloo DOT Garage	4500	\$ 96.14	\$ 432,630.00
37	ROCK SALT-WINTER RESUPPLY - Waverly DOT Garage	1400	\$ 98.45	\$ 137,830.00
40	ROCK SALT-WINTER RESUPPLY - Elkader DOT Garage	1000	\$ 91.54	\$ 91,540.00
41	ROCK SALT-WINTER RESUPPLY - West Union DOT Garage	1200	\$ 94.29	\$ 113,148.00
83	ROCK SALT-WINTER RESUPPLY - West Burlington DOT Garage	1200	\$ 86.29	\$ 103,548.00
84	ROCK SALT-WINTER RESUPPLY - Mount Pleasant DOT Garage	1200	\$ 86.29	\$ 103,548.00
85	ROCK SALT-WINTER RESUPPLY - Fairfield DOT Garage	1200	\$ 91.45	\$ 109,740.00
87	ROCK SALT-WINTER RESUPPLY - Donnellson DOT Garage	1500	\$ 83.79	\$ 125,685.00
88	ROCK SALT-WINTER RESUPPLY - Muscatine DOT Garage	1800	\$ 87.65	\$ 157,770.00
89	ROCK SALT-WINTER RESUPPLY - Washington DOT Garage	1800	\$ 93.19	\$ 167,742.00
92	ROCK SALT-WINTER RESUPPLY - Independence DOT Garage	1200	\$ 92.74	\$ 111,288.00
95	ROCK SALT-WINTER RESUPPLY - Coralville DOT Garage	3000	\$ 88.11	\$ 264,330.00
96	ROCK SALT-WINTER RESUPPLY - Cedar Rapids DOT Garage	3500	\$ 87.53	\$ 306,355.00
97	ROCK SALT-WINTER RESUPPLY - Marion DOT Garage	3500	\$ 93.43	\$ 327,005.00
102	ROCK SALT-WINTER RESUPPLY - Davenport DOT Garage	4500	\$ 80.30	\$ 361,350.00
106	ROCK SALT-WINTER RESUPPLY - City of Bettendorf No Bottom	4200	\$ 80.56	\$ 338,352.00
108	ROCK SALT-WINTER RESUPPLY - City of Burlington No Bottom	900	\$ 89.53	\$ 80,577.00
110	ROCK SALT-WINTER RESUPPLY - City of Cedar Falls	1200	\$ 97.57	\$ 117,084.00
111	ROCK SALT-WINTER RESUPPLY - City of Cedar Rapids	8000	\$ 89.26	\$ 714,080.00
117	ROCK SALT-WINTER RESUPPLY - City of Coralville	850	\$ 93.28	\$ 79,288.00
118	ROCK SALT-WINTER RESUPPLY - City of Cresco	75	\$ 102.60	\$ 7,695.00
121	ROCK SALT-WINTER RESUPPLY - City of Decorah No Bottom	350	\$ 100.03	\$ 35,010.50
122	ROCK SALT-WINTER RESUPPLY - City of DeWitt No Bottom	200	\$ 91.67	\$ 18,334.00
123	ROCK SALT-WINTER RESUPPLY - City of Durant No Bottom	75	\$ 91.22	\$ 6,841.50
130	ROCK SALT-WINTER RESUPPLY - City of Fairfax No Bottom	75	\$ 101.49	\$ 7,611.75



# Rock Salt for FY2022 and FY2023

Final Audit report

<b>Transaction id:</b>	79722772-8120-466e-a1b3-38b4d0924275
<b>Status:</b>	signed
<b>By:</b>	Julie Randall
<b>Created:</b>	Fri May 27 15:35:09 UTC 2022

## Rock Salt for FY2022 and FY2023 History

### Julie Randall (julie.randall@iowadot.us)

Contract sent for Signature Fri May 27 15:35:23 UTC 2022  
Contract Number 2021-8371  
Contract Title Rock Salt for FY2022 and FY2023  
IP Address 165.206.200.230

### Highway Group Gerdes (null)

Contract Signed Fri May 27 17:30:52 UTC 2022  
Contract Id 11885  
Contract Number 2021-8371  
IP Address 184.105.48.250

### Jody McNaughton (null)

Contract Signed Tue May 31 23:31:05 UTC 2022  
Contract Id 11885  
Contract Number 2021-8371  
IP Address 165.206.200.230



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Mark Garrow  
Transit/Garage Manager  
**WARD:** All

<p><b>Item Title:</b></p> <p>Resolution approving updates to the Agency Safety Plan (ASP) for the City Bettendorf's Transit system.</p>
<p><b>Explanation:</b></p> <p>Bettendorf Transit's Agency Safety Plan (ASP) was initially approved by City Council on May 5, 2020. Because of Bipartisan Infrastructure Law changes to 49 U.S.C § 5329(d), an update to the existing plan is required.</p> <p>Some of these changes affecting Bettendorf Transit include strategies to minimize exposure to infectious diseases, revised safety committee responsibilities and a risk reduction program for vehicular and pedestrian accidents, transit worker assaults, and performance targets.</p>
<p><b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</b></p> <p><b>List Attachments:</b> Resolution Bettendorf Transit Agency Safety Plan (ASP)</p>

RESOLUTION NO: \_\_\_\_\_-22

RESOLUTION APPROVING UPDATES TO THE AGENCY SAFETY PLAN (ASP)  
FOR THE CITY OF BETTENDORF'S TRANSIT SYSTEM

WHEREAS, Public Transportation Agency Safety Plan (PTASP) regulation (49 CFR Part 673) requires all small transit systems to have an Agency Safety Plan (ASP); and

WHEREAS, The Bipartisan Infrastructure Law includes new PTASP requirements; and

WHEREAS, Bettendorf Transit's Safety Committee has approved the current ASP and all updates; and

WHEREAS, Bettendorf Transit is a recipient of Federal 5307 funds and meets the requirement for an ASP.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the updated Agency Safety Plan for Bettendorf Transit be approved.

Passed, Approved, and Adopted this 2nd day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**SAFETY – SAFETY – SAFETY – SAFETY – SAFETY**



**AGENCY SAFETY PLAN (ASP)**

**CREATED: March 10, 2020**

**LAST UPDATED: July 20, 2022**

**SAFETY – SAFETY – SAFETY – SAFETY – SAFETY**

# AGENCY SAFETY PLAN (ASP):

**Bettendorf Transit**  
**1609 State St.**  
**Bettendorf, Iowa**  
**52722**

## Annual Recertification

<b>1<sup>ST</sup> Recertification</b>	<b>07/20/2021</b>	
<b>2<sup>ND</sup> Recertification</b>	<b>08/03/2022</b>	
<b>3<sup>RD</sup> Recertification</b>		
<b>4<sup>TH</sup> Recertification</b>		
<b>5<sup>TH</sup> Recertification</b>		

***This Public Transit Agency Safety Plan is hereby certified, adopted and signed by:***

Brian Schmidt, Public Works Director

***Accountable Executive Name and Title***

***Accountable Executive Signature***

***Date***

The Chief Safety Officer (CSO) is the person designated by the Transit Agency to manage and implement the Public Transit Agency Safety Plan, as well as answer any questions regarding the Agency's Transit Safety Plan.

## Transit Agency Chief Safety Officer Contact Information

Title:	Transit/Garage Manager
Name:	Mark Garrow
Address:	4403 Devils Glen Rd.
Phone:	563/344-4104
Email:	mgarrow@bettendorf.org

### Transit Agency Information

<b>Transit Agency Name</b>	City of Bettendorf (Bettendorf Transit)		
<b>Transit Agency Address</b>	1609 State Street		
<b>Name and Title of Accountable Executive</b>	Brian Schmidt, Public Works Director		
<b>Name of Chief Safety Officer or SMS Executive</b>	Mark Garrow		
<b>Mode(s) of Service Covered by This Plan</b>	Bus (MB)	<b>List All FTA Funding Types (e.g., 5307, 5310, 5311)</b>	5307,5310,5339
<b>Mode(s) of Service Provided by the Transit Agency (Directly operated or contracted service)</b>	Bus (MB), Directly Operated (DO) ADA Paratransit (DR), Paid Transportation (PT)		

<b>Does the agency provide transit services on behalf of another transit agency or entity?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	<b>Description of Arrangement(s)</b>	N/A
<b>Name and Address of Transit Agency(ies) or Entity(ies) for Which Service Is Provided</b>	N/A			

<b>Name of Entity That Drafted This Plan</b>	City of Bettendorf/Bettendorf Transit	
<b>Approval by the Board of Directors or an Equivalent Authority</b>	<b>Name of Individual/Entity That Approved This Plan</b>	<b>Date of Original Approval</b>
	Bettendorf City Council	5/05/2020
	<b>Relevant Documentation (title and location)</b>	
Resolution No.161-20 is available from the CSO.		
<b>Certification of Compliance</b>	<b>Name of Individual/Entity That Certified This Plan</b>	<b>Date of Original Certification</b>
	Brian Schmidt, Accountable Executive	5/27/2020
	<b>Relevant Documentation (title and location)</b>	
	Accountable Executive's signature is on page 2 of this document.	



# **TABLE OF CONTENTS**

## **SECTION 1- SAFETY POLICIES AND PROCEDURES**

- 1.1 Safety Management Policy Statement
- 1.2 Annual PTASP Review and Update
- 1.3 Description of Organizational Structure
  - 1.3.1 Authorities, Accountabilities, and Responsibilities
- 1.4 Safety Promotion, Culture and Training
  - 1.4.1 Safety Culture
  - 1.4.2 Safety Training

## **SECTION 2- SAFETY RISK MANAGEMENT (SRM)**

- 2.1 Hazard Identification
  - 2.1.1 Employee Safety reporting Program and Non-Punitive Reporting Policy
- 2.2 Risk Assessment
- 2.3 Risk Mitigation
- 2.4 Prioritize Safety Risks
- 2.5 Exposure to Infectious Diseases**
- 2.6 Risk Reduction Program**

## **SECTION 3- SAFETY ASSURANCES**

- 3.1 Defining Safety Goals and Objectives/Outcomes
- 3.2 Defining Safety Performance Measures
  - 3.2.1 Safety Performance Monitoring and Measurement
- 3.3 Monitoring Performance and Evaluating Results
  - 3.3.1 Safety Performance Targets
  - 3.3.2 Safety Performance Target Coordination
- 3.4 Integrating Results into Decision-Making Processes
- 3.5 Sustaining a Safety Management System
- 3.6 Supporting Documentation
- 3.7 Definitions of Special Terms Used in the Safety Plan
- 3.8 List of Acronyms Used in the Safety Plan

# SECTION 1- SAFETY POLICIES AND PROCEDURES

---

## 1.1 SAFETY MANAGEMENT POLICY STATEMENT

Bettendorf Transit is committed to Safety Management as a systematic and comprehensive approach to identifying safety hazards and risks associated with transit system operations and related maintenance activities. Bettendorf Transit has adopted a Safety Management Systems (SMS) framework as an explicit element of the agency's responsibility by establishing safety policy; identifying hazards and controlling risks; goal setting, planning and measuring performance. Furthermore, Bettendorf Transit has adopted SMS as a means by which to foster agency-wide support for transit safety by establishing a culture where management is held accountable for safety and everyone in the organization takes an active role in securing transit safety.

To ensure transit safety, and in order to comply with Federal Transit Administration (FTA) requirements, Bettendorf Transit has developed and adopted this Agency Safety Plan (ASP) to comply with FTA regulations 49 C.F.R. Part 673 and confirms that this ASP addresses applicable requirements and standards in FTA's Public Transportation Safety Plan and the National Public Transportation Safety Plan.

The Accountable Executive and Bettendorf City Council, in cooperation with the Iowa Department of Transportation (Iowa DOT) and Bi-State Regional Commission, have reviewed the ASP and assures that its content has met the requirements of 49 C.F.R. Part 673.

1. Safety is a core business value;
2. Safety excellence is a key component of our mission;
3. Safety is a source of our competitive advantage; our business will be strengthened by making safety excellence an integral part of all our public transportation activities; and
4. Accidents and serious incidents are preventable and do not occur out of the blue; they are preceded by precursors (events, behaviors, and conditions) that can be identified, assessed and mitigated through physical, administrative and behavioral defense strategies.

Basic elements of our safety approach include:

- Ensure resources are provided for managing safety during service delivery;
- Commitment to an employee safety reporting program to convey that receiving safety information from employees is critical to the operation and success of the SMS;
- Ensure no action will be taken against any employee who discloses a safety concern through the employee safety reporting program, unless disclosure dictates, beyond a reasonable doubt, an illegal act, gross negligence, or a deliberate or willful disregard of regulations or procedures; and
- Is communicated, with visible and explicit support from executive management, throughout the transit agency.

---

***Accountable Executive Signature***

***Date***

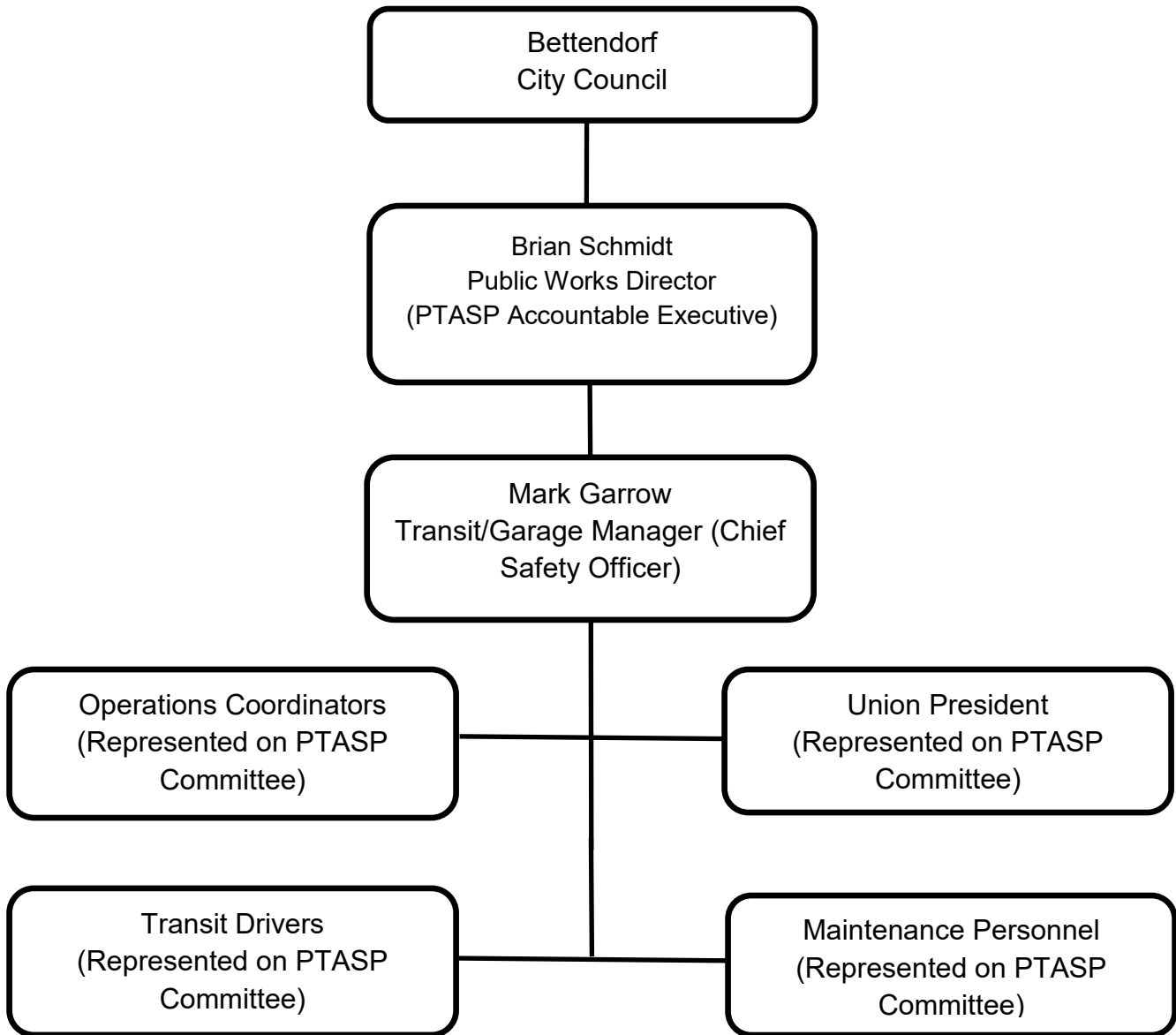
## 1.2 ANNUAL PTASP REVIEW AND UPDATE

An annual review will be conducted by the PTASP Committee. Necessary updates outside the annual update window will be handled as PTASP addendums. Any subsequent updates and addendums will be documented in the PTASP Activity Log included on page 4 of this document. The Annual self-certification will include the Accountable Executive signing and dating page 2 of this document and submitting to the Iowa Department of Transportation and Bi-State Regional Commission (MPO) for review. FTA will use its existing Certifications and Assurances process to ensure Bettendorf Transit complies with the self-certification process.

### 1.3 ORGANIZATION STRUCTURE

Management has the overall responsibility of safe and secure operations of Bettendorf Transit and contract service operators. Each employee is required to carry out specific system safety responsibilities, depending on his/her position, in compliance with the PTASP. The following chart shows the reporting structure.

## Bettendorf Transit PTASP Organizational Chart



### 1.3.1 Authorities, Accountabilities, and Responsibilities

<p><i>Describe the authorities, accountabilities, and responsibilities of the following individuals for the development and management of the transit agency's Safety Management System (SMS).</i></p>	
<p><b>Accountable Executive (Executive Management)</b></p>	<p>The Accountable Executive is the single, identifiable person with ultimate responsibility for carrying out the Public Transportation Agency Safety Plan for Bettendorf Transit; responsibility for carrying out the Bettendorf's Transit Asset Management Plan; and control or direction over the human and capital resources needed to develop and maintain both Bettendorf's Public Transportation Agency Safety Plan and Transit Asset Management Plan.</p>
<p><b>Chief Safety Officer or SMS Executive (Agency Leadership)</b></p>	<p>The Chief Safety Officer is responsible for safety and reports directly to Bettendorf's Accountable Executive. The Chief Safety Officer for Bettendorf Transit serves in other operational or maintenance capacities because Bettendorf Transit is a small public transportation provider as defined in § 673.5, and does not operate a rail fixed guideway public transportation system. The Chief Safety Officer for Bettendorf Transit has the authority and responsibility for day-to-day implementation and operation of Bettendorf Transit's SMS.</p>
<p><b>PTASP Safety Committee (Key Staff)</b></p>	<p>The Bettendorf Transit PTASP Safety Committee, comprised of frontline transit workers, will be responsible for assisting in the development, <b>approval</b> and implementation of the ASP, reviewing the progress of the Plan, and ensuring that the communication process is effective. <b>The Committee is also responsible for: (I) identifying and recommending risk-based mitigations or strategies necessary to reduce the likelihood and severity of consequences identified through Bettendorf' Transit's safety risk assessment. (II) Identifying mitigations or strategies that may be ineffective, inappropriate or were not implemented as intended; and (III) identifying safety deficiencies for purposes of continuous improvement.</b></p> <p>The Committee is comprised of the following:</p> <ul style="list-style-type: none"> <li>• Chief Safety Officer (Transit/Garage Manager)</li> <li>• Operations Coordinators</li> <li>• Union President</li> <li>• Transit Drivers</li> <li>• Mechanics</li> </ul>

### 1.4 SAFETY PROMOTION, CULTURE AND TRAINING

Bettendorf Transit believes safety promotion is critical to the success of SMS by ensuring that the entire organization fully understands and trusts the SMS policies, procedures, and structure. It involves establishing a culture that recognizes safety as a core value, training employees in safety principles, and allowing open communications of safety issues. Once approved, the Safety Management Policy will be provided to and discussed with appropriate transit related personnel. This will include vehicle maintenance employees who repair transit buses. The Safety Management Policy will also be reviewed with all new transit employees as part of the training process. Additional communication tools reinforcing the Safety Management Policy are safety bulletin boards and handouts.

A general review of the policy will then commence at future Safety Meetings.

### 1.4.1 Safety Culture

Positive safety culture must be generated from the top-down. The actions, attitudes, and decisions at the policy-making level must demonstrate a genuine commitment to safety. Safety must be recognized as the responsibility of each employee with the ultimate responsibility for safety resting with the Accountable Executive and City Council of Bettendorf. Employees must trust that they will have management support for decisions made in the interest of safety while recognizing that intentional breaches of safety will not be tolerated.

The primary goal of safety promotion at Bettendorf Transit is to develop a positive safety culture that allows SMS to succeed. A positive safety culture at Bettendorf Transit is defined as one which is:

#### A. An Informed Culture

- Employees understand the hazards and risks involved in their areas of operation;
- Employees are provided with the necessary knowledge, training and resources; and
- Employees work continuously to identify and overcome threats to safety.

#### B. A Just Culture

- Employees know and agree on what is acceptable and unacceptable behavior; and
- Human errors must be understood but negligence and willful violations cannot be tolerated.

#### C. A Reporting Culture

- Employees are encouraged to voice safety concerns and to share critical safety information without the threat of punitive action; and
- When safety concerns are reported through the employee safety reporting program (ESRP), safety actions in response to the concerns are communicated back to staff.

#### D. A Learning Culture

- Learning is valued as a lifetime process beyond basic-skills training;
- Employees are encouraged to develop and apply their own skills and knowledge to enhance safety; and
- Employees are updated on safety issues by management and safety reports are fed back to staff so that everyone learns the pertinent lessons.

### 1.4.2 Training

SMS, specific training will be required for all Bettendorf Transit employees and contractors designated as directly responsible for safety in Bettendorf Transit's system to explain the agency's safety culture and describe how SMS works. The CSO is the resource person for providing a corporate perspective on Bettendorf Transit's approach to safety management. Once the SMS is implemented, safety training needs will depend on the safety responsibilities of the individual staff members and the nature of tasks performed. This process also includes refresher training, as necessary. All training shall be monitored by the CSO.

#### Mandatory Safety Management Training Topics Include:

##### A. Initial Safety Training for All Staff (*Provided through staff meetings and new hire orientations as noted*)

1. Basic principles of safety management including the integrated nature of SMS, risk management, safety culture, etc. (*provided by staff meetings and new hire orientation*);
2. Corporate safety philosophy, safety goals and objectives, safety policy, and safety standards (*provided by staff meetings and new hire orientation*);
3. Importance of complying with the safety policy and SMS procedures, and the approach to disciplinary actions for different safety issues (*provided by staff meetings and new hire orientation*);

4. Organizational structure, roles and responsibilities of staff in relation to safety *(provided by staff meetings and new hire orientation)*;
5. Transit agency's safety record, including areas of systemic weakness *(provided by staff meetings and new hire orientation)*;
6. Requirement for ongoing internal assessment of organization safety performance (e.g. employee surveys, safety audits, and assessments) *(provided by staff meetings and new hire orientation)*;
7. Reporting accidents, incidents, and perceived hazards *(provided by staff meetings and new hire orientation)*;
8. Lines of communication for Safety Officer *(provided by staff meetings and new hire orientation)*;
9. Feedback and communication methods for the dissemination of safety information *(during regular recurring meetings)*; and
10. Safety promotion and information dissemination *(provided on the transit and garage communication boards, as handouts during meetings and randomly as required)*

**B. Safety Training for Operations Personnel** *(Provided through quarterly training, staff meetings and in responses noted)*

1. Unique hazards facing operational personnel **(includes de-escalation training)** *(refer to Transit Driver Training Manual, sections 3.18, 3.19, 4.1, 4.3, 4.6, 4.14 and 5.2)*;
2. Seasonal safety hazards and procedures (e.g. winter operations) *(refer to Transit Driver Training Manual, section 4)*;
3. Procedures for hazard reporting *(provided by staff meetings and new hire orientation)*;
4. Procedures for reporting accidents and incidents *(refer to Transit Driver Training Manual, section 1.9 and 5.1)*;
5. Emergency procedures *(refer to Transit Driver Training Manual, sections 3.14, 3.16, 3.18 and 5.1 for specific details)*

**C. Training for Management/Safety Officer**

SMS Awareness *(Completed 1/08/20)*

1. Introduction to Safety Management Systems (SMS)
2. The four components of FTA's SMS Framework
3. The importance of Employee Safety Reporting Systems to the success of SMS

Roadmap to Drafting an Agency Safety Plan for Bus Agencies *(Completed 12/27/19)*

1. Overview of the Public Transportation Agency Safety Plan Regulation
2. Applicable transit agencies and personnel
3. Leveraging Resources for drafting an Agency Safety Plan
4. Safety Management Policy requirements
5. Safety Risk Management requirements
6. Safety Assurance requirements
7. Safety Promotion requirements
8. Certifying the Agency Safety Plan and next steps

SMS Safety Assurance *(Completed 4/29/20)*

1. FTA SMS Framework
2. Safety Assurance activities and tools
3. The relationship between Safety Risk Management (SRM) and Safety Assurance (SA)
4. Current SRM/SA activities and tools, as well as the gaps that exist
5. Safety Performance Monitoring and Measurement
6. Practical Drift
7. Management of Change
8. Continuous Improvement
9. Online pretest and online final exam

## **SECTION 2- SAFETY RISK MANAGEMENT (SRM)**

### **2.1 HAZARD IDENTIFICATION**

Establishing effective hazard identification programs is fundamental to safety management at Bettendorf Transit. Hazard identification can be reactive or proactive in nature. Occurrence reporting, incident investigation and trend monitoring are essentially reactive. Other hazard identification methods actively seek feedback by observing and analyzing day-to-day operations. Common hazard identification activities include:

- Safety assessments;
- Trend monitoring;
- Hazard and incident reporting;
- Safety surveys;
- Safety audits; and
- Evaluating customer suggestions and complaints.

The number of near-miss incidents, known as precursors, is significantly greater than the number of accidents for comparable types of events. The practice of reporting and learning from accident precursors is a valuable complement to other hazard identification practices. To be successful, hazard identification must take place within a non-punitive and just safety culture. Bettendorf Transit employs systematic safety improvements by discovering and learning of potential weaknesses in the system's safety.

#### **2.1.1 Employee Safety Reporting Program and Non-Punitive Reporting Policy**

Bettendorf Transit is committed to the safest transit operating standards possible. To achieve this, it is imperative that Bettendorf Transit have uninhibited reporting of all incidents and occurrences which may compromise the safe conduct of our operations. To this end, every employee is responsible for the communication of any information that may affect the integrity of transit safety. Such communication must be completely free of any form of reprisal.

Occupational health and safety is the mutual concern of the Employer, the Union and employees. Employees, or the Union, shall report safety and health hazards of which they are aware to the CSO. Hazards or potential hazards are to be reported by filling out a Hazard Report Form. Bettendorf Transit shall comply with applicable federal, state and local safety laws, rules, and regulations.

Bettendorf Transit will not take disciplinary action against any employee who discloses an incident or occurrence involving transit safety. This policy shall not apply to information received by Bettendorf Transit from a source other than the employee, or which involves an illegal act, or a deliberate or willful disregard of promulgated regulations or procedures.

The primary responsibility for transit safety rests with the Transit Operators and the CSO, however transit safety is everyone's concern.

Bettendorf Transit's method of collection, recording and disseminating information obtained from hazard report forms has been developed to protect, to the extent permissible by law, the identity of any employee who provides transit safety information.

Bettendorf Transit urges all staff to practice the SMS transit safety procedures outlined in the PTASP to help Bettendorf Transit become a leader in providing transit riders and employees with the highest level of transit safety.

## 2.2 RISK ASSESSMENT

Once hazards have been identified, Bettendorf Transit will conduct an assessment to determine their potential consequences. Factors to be considered are the likelihood of occurrence, the severity of the consequences should there be an occurrence, and the level of exposure to the hazard. Bettendorf Transit will assess risks subjectively by experienced personnel using a Risk Assessment Matrix (RAM). Results of the risk assessment process will help determine whether the risk is being appropriately managed or controlled. If the risks are acceptable, the hazard will simply need monitoring. If the risks are unacceptable, steps will be taken by Bettendorf Transit to lower the risk to an acceptable or tolerable level, or to remove or avoid the hazard.

## 2.3 RISK MITIGATION

The assessment process may indicate that certain hazards have an acceptable level of risk, while others require mitigation to an acceptable or tolerable level. Bettendorf Transit will further manage risk by completing a Hazard Identification and Risk Assessment Log that can help prioritize safety risks. The level of risk can be lowered by reducing the severity of the potential consequences, by reducing the likelihood of occurrence and/or by reducing the exposure to that risk.

In general, Bettendorf Transit will take the following safety actions to mitigate risk. These actions can be categorized into three broad categories, including:

### 1. **Physical Defenses:**

These include objects and technologies that are engineered to discourage, or warn against, or prevent inappropriate action or mitigate the consequences of events (e.g. traffic control devices, fences, safety restraining systems, transit monitoring systems, etc.)

### 2. **Administrative Defenses:**

These include procedures and practices that mitigate the likelihood of accident/incident (e.g. safety regulations, standard operating procedures, personnel proficiency, supervision inspection, training, etc.) and

### 3. **Behavioral Defenses:**

These include behavioral interventions through education and public awareness campaigns aimed at reducing risky and reckless behavior of motorists, passengers and pedestrians; factors outside the control of the agency. The Zero Fatalities Iowa campaign is an example.

## 2.4 PRIORITIZED SAFETY RISKS

Once hazards have been identified and risk levels assessed, Bettendorf Transit will prioritize safety risks. A Prioritized Safety Risk Log is used to organize system safety risks. The Prioritized Safety Risk Log identifies the priority level for safety risks, a description of the risk, planned mitigation strategies to address the risk, the outcome of the planned mitigation strategies, responsible staff, a timeline of the planned mitigation strategies, and the status of the prioritized safety risk. Prioritized Safety Risk Log is updated frequently to ensure continual progress towards risk reduction. Bettendorf Transit will review and revise existing mitigations as needed. Bettendorf Transit will prioritize safety risks and assign resources as necessary. Whenever a questions arises that is out of the realm of sublet matter experts on hand, help outside of the agency will be sought.

## 2.5 EXPOSURE TO INFECTIOUS DISEASES

Congruent to Bipartisan Infrastructure Law changes to 49 U.S.C § 5329(d), Bettendorf Transit has enacted strategies to minimize the exposure of the public, personnel, and property to hazards and unsafe conditions that are consistent with guidelines of the Centers for Disease Control and Prevention and/or State and local health authorities in order to minimize exposure to infectious diseases. Mitigation strategies include, but are not limited to, driver barrier shields and consistent disinfecting of all buses and shelters.

## **2.6 RISK REDUCTION PROGRAM**

The overall goal of the risk reduction program is for transit operations to improve safety by reducing the number and rates of accidents, injuries, and assaults on transit workers based on data submitted to the national transit database. The following subsections are the core tenets to reducing operational risks.

### **2.6.1 Vehicular and Pedestrian Accidents**

A process has been established for reduction of vehicular and pedestrian accidents involving buses that includes measures to reduce visibility impairments for bus operators that contribute to accidents, including retrofits to buses in revenue service and specifications for future procurements that reduce visibility impairments.

### **2.6.2 Transit Worker Assaults**

Controls have been established for the mitigation of assaults on transit workers, including the deployment of assault mitigation infrastructure and technology on buses. Plexiglas barriers have been installed on all Bettendorf buses to restrict the unwanted entry of individuals and objects into the workstations of bus operators.

### **2.6.3 Risk Reduction Performance Targets**

The safety committee will work to establish performance targets for the risk reduction program using a 3-year rolling average of the data submitted by Bettendorf Transit to the national transit database under section 5335. As of the date of this update, performance targets for a risk reduction program are not required to be in place until FTA has updated the National Public Transportation Safety Plan to include applicable performance measures.

## SECTION 3- SAFETY ASSURANCE

---

Safety assurance provides the necessary feedback to ensure that the SMS is functioning effectively and that Bettendorf Transit is meeting or exceeding its safety objectives. Safety assurance requires a clear understanding of how safety performance will be evaluated, or in other words, what metrics will be used to assess system safety and determine if the safety management system is working properly. Having decided on the metrics by which success will be measured; safety management requires embedding these metrics in the organizational culture and encouraging their use for ongoing performance improvement. Safety assurance activities serve as a check on Bettendorf Transit's safety risk management process to minimize the exposure of the public, personnel, and property to unsafe conditions.

### 3.1 DEFINING SAFETY GOALS AND OBJECTIVES/OUTCOMES

Setting safety goals and objectives is part of strategic planning and establishing safety policy for Bettendorf Transit. Clearly defining safety goals is the first part in creating a safety performance measurement system.

**Safety goals** are general descriptions of desirable long-term impacts. For example, a general safety goal might be, *"Foster agency-wide support for transit safety by establishing a culture where management is held accountable for safety and everyone in the organization takes an active role in securing transit safety."*

**Safety objectives or outcomes** are more specific statements that define measurable results. For example, a specific safety objective for the goal stated above might be, *"Establish regular transit safety meetings comprised of staff at varying levels, including managers, operators and maintenance personnel."*

The safety objective/outcome will then be measured by defining specific performance metrics, including a baseline and target, that **Bettendorf Transit** will determine is reasonable.

### 3.2 DEFINING SAFETY PERFORMANCE MEASURES

Performance measurement is the regular systematic collection, analysis and reporting of data that track resources used, work produced and whether specific outcomes were achieved. In other words, it is a tool to quantify and improve performance, and engage and communicate with Bettendorf Transit staff and external stakeholders. The two (2) core functions of performance measurement include monitoring and evaluating progress. Performance can be measured in terms of inputs, outputs, outcomes, and efficiency among many other criteria. Bettendorf Transit monitors operations to better understand safety performance. This is done by talking to employees, reviewing data and monitoring field activities. This process informs management of breakdowns in training, communications, or other issues.

Bettendorf Transit will utilize these basic principles of performance measurement, including:

- Stakeholder involvement and acceptance
- Focus on agency goals and activities
- Clarity and precision
- Credibility and robustness
- Forward-looking measures
- Integration into agency decision-making
- Timely reporting
- Understand agency specifics, including context and scale of operations
- Realism of goals and targets

### 3.2.1 Safety Performance Monitoring and Measurement

***Describe activities to monitor the system for compliance with procedures for operations and maintenance.***

The Chief Safety Officer (CSO), is responsible for ensuring that the PTASP will be implemented as intended. The CSO will review system documents and operating procedures as needed to test for compliance.

The CSO will also review the system documents and operating procedures of Bettendorf Transit and those of its contractors, as needed to test for compliance. Any shortcomings will be formally noted and addressed. A timetable for correcting the shortcomings will be included with follow-up.

The PTASP Safety Committee will meet semi-annually to review the first six-months of each fiscal year. A review of any reports involving the PTASP will be provided. The Committee will have the ability to modify the PTASP if necessary.

The PTASP Safety Committee will also meet annually to review the previous year and implement, as appropriate, any updates to the PTASP. Necessary updates will be provided to the Accountable Executive.

***Describe activities to monitor operations to identify any safety risk mitigations that may be ineffective, inappropriate, or were not implemented as intended.***

Any hazard that is identified and recorded with a corresponding mitigation will be reviewed by the CSO on or before the conclusion of the first month after the month in which the hazard was reported. The CSO will determine if the mitigation succeeded to reduce or eliminate any hazards reported. If the mitigation did not occur, or was not effective, the CSO will revisit the hazard with the appropriate City department to ascertain the issue. A new schedule will then be developed to mitigate the hazard with a corresponding review.

***Describe activities to conduct investigations of safety events to identify causal factors.***

The CSO will review the Hazard Identification and Risk Assessment Log monthly to determine if any patterns exist. If a pattern exists, the CSO and potentially the PTASP Committee, will determine what action needs to be taken. Communication of the pattern and the response to the pattern will be completed by the CSO for review during a regular meeting of the PTASP Committee. The CSO will determine if a response was effective and, if not, coordinate with the appropriate City departments to revisit the correction.

***Describe activities to monitor information reported through internal safety reporting programs.***

The CSO will review, on a monthly basis, any information provided through the internal safety reporting program.

### 3.3 MONITORING PERFORMANCE AND EVALUATING RESULTS

Once safety goals, objectives/outcomes and measures have been defined, they can be organized into a Safety Performance Matrix. Organizing information, particularly in a matrix, will allow Bettendorf Transit to continuously monitor safety performance and evaluate results. Bettendorf Transit will evaluate safety performance and update documentation at least annually. Safety performance monitoring and measurement includes: monitoring compliance with procedures, determining sufficiency of procedures, conducting investigations, and monitoring safety information and the employee safety program.

#### 3.3.1 Safety Performance Targets

<b><i>Specify performance targets based on the safety performance measures established under the National Public Transportation Safety Plan. Totals are based on the last five (5) Fiscal Years averaged totals. Rates are averaged totals multiplied by 100,000 VRM divided by estimated annual expected VRM of 159,139.</i></b>							
<b>Mode of Transit Service</b>	<b>Fatalities (Total)</b>	<b>Fatalities (Per 100K VRM)</b>	<b>Injuries (Total)</b>	<b>Injuries (Per 100K VRM)</b>	<b>Safety Events (Total)</b>	<b>Safety Events (Per 100K VRM)</b>	<b>System Reliability (Failures / VRM)</b>
Bus (MB)	0	0	0	0	3	1.8	53,090
Contractor	0	0	1.6	0.23	3.2	0.46	37,739

#### 3.3.2 Safety Performance Target Coordination

<b><i>Describe the coordination with the State and Metropolitan Planning Organization(s) (MPO) in the selection of State and MPO safety performance targets.</i></b>		
Bettendorf Transit will communicate and coordinate with Iowa DOT and Bi-State Regional Commission, to the maximum extent practicable, in the selection of State and MPO safety performance targets and to aid the MPO in the planning process.		
<b>Targets Transmitted to the State</b>	<b>State Entity Name</b>	<b>Date Targets Transmitted</b>
	Iowa DOT	08/03/2022
<b>Targets Transmitted to the Metropolitan Planning Organization(s)</b>	<b>Metropolitan Planning Organization Name</b>	<b>Date Targets Transmitted</b>
	Bi-State Regional Commission	08/03/2022

### 3.4 INTEGRATING RESULTS INTO AGENCY DECISION-MAKING PROCESSES

Bettendorf Transit is committed to using the data collected and information learned to inform decision making and instill positive change. The main objective is the continuous improvement of transit system safety. When performance goals are not met, Bettendorf Transit will work to identify why such goals were not met and what actions can be taken to minimize the gap in achieving defined goals. However, when goals are easily achieved, action will be taken to exceed expectations and re-establish a reasonable baseline.

Uses of Performance Results include:

- Focus attention on performance gaps and trigger in-depth investigations of what performance problems exists;
- Help make informed resource allocation decisions;
- Identify needs for staff training or technical assistance;
- Help motivate employees to continue making program improvements;
- Support strategic planning efforts by providing baseline information for tracking progress;
- Identify best practices through benchmarking
- Respond to elected officials and the public's demand for accountability.

### 3.5 SUSTAINING A SAFETY MANAGEMENT SYSTEM

In order to sustain a safety management system, Bettendorf Transit will ensure that particular processes are employed to instill an organizational foundation. Examples of actions taken to sustain SMS include:

- **Create measurement-friendly culture:**  
All staff, including upper level management, should be actively engaged in creating measurement-friendly culture by promoting performance measurement as a means of continuous improvement. Upper level management will also lead by example and utilize performance metrics in decision making processes.
- **Build organization capacity:**  
Investment in developing skilled human resources capacity is essential to sustaining an SMS. Both technical and managerial skills will be needed for data collection and analysis, and setting goals. Managing staff and the governing board will commit the financial resources required for organizational capacity and maintaining an SMS on a continuous basis.
- **Reliability and transparency of performance results:**  
The SMS will be able to produce and report its results, both good and bad. Performance information should be transparent and made available to all stakeholders. Messengers should be protected to preserve the integrity of the measurement system. The focus should be on opportunities for improvement rather than allocating blame.
- **Demonstrate continuous commitment to measurement:**  
Visible commitment to using metrics is a long-term initiative. Bettendorf Transit will demonstrate a commitment to performance measurement by establishing a process of reporting performance results, such as recurring transit safety and performance measurement reports to the accountable executive.

### 3.6 SUPPORTING DOCUMENTATION

***Include or reference documentation used to implement and carry out the Safety Plan that are not included elsewhere in this Plan.***

The below documents have not been included in the ASP other than by reference and are available by request from the CSO. These documents must be maintained for three years after they are created and must be made available upon request by the FTA or other Federal entity, or a State Safety Oversight Agency having jurisdiction.

Transit Driver Training Manual	Suspicious Package Policy
Staff Safety Roles and Responsibilities	Bettendorf Transit ADA Procedures
Safety Assessment and System Review	<b>PTASP Safety Committee Approvals</b>
Facility Safety and Security Assessment	<b>Bettendorf Council Approving Resolutions</b>
Risk Assessment Matrix	
Hazard Identification and Risk Assessment Log	
Prioritized Safety Risk Log	
Safety Performance Matrix	
Bettendorf Hazard Report Form	

### 3.7 DEFINITIONS OF SPECIAL TERMS USED IN THE SAFETY PLAN

<b>Term</b>	Definition (Bettendorf Transit incorporates FTA's definitions that are in 49 CFR § 673.5 of the Public Transportation Agency Safety Plan regulation.)
<b>Accident</b>	An event that involves any of the following: A loss of life; a report of a serious injury to a person; a collision of public transportation vehicles; a runaway train; an evacuation for life safety reasons; or any derailment of a rail transit vehicle, at any location, at any time, whatever the cause.
<b>Accountable Executive</b>	The single, identifiable person who has ultimate responsibility for carrying out the Public Transportation Agency Safety Plan of a public transportation agency; responsibility for carrying out the agency's Transit Asset Management Plan; and control or direction over the human and capital resources needed to develop and maintain both the agency's Public Transportation Agency Safety Plan, in accordance with 49 U.S.C. 5329(d), and the agency's Transit Asset Management Plan, in accordance with 49 U.S.C. 5326.
<b>Bettendorf Transit</b>	Bettendorf Transit is the public transit operator in the City of Bettendorf. Bettendorf Transit is a division of the City's Department of Public Works.
<b>Contractor</b>	River Bend Transit is the contractor who provides ADA paratransit and Saturday Fixed Route service for the City of Bettendorf. The contract is managed through Bettendorf Transit.

<b>Event</b>	Any Accident, Incident, or Occurrence
<b>Hazard</b>	Any real or potential condition that can cause injury, illness, or death; damage to or loss of the facilities, equipment, rolling stock, or infrastructure of a public transportation system; or damage to the environment.
<b>Incident</b>	An event that involves any of the following: a personal injury that is not a serious injury; one or more injuries requiring medical transport; or damage to facilities, equipment, rolling stock, or infrastructure that disrupts the operations of a transit agency.
<b>Investigation</b>	The process of determining the causal and contributing factors of an accident, incident, or hazard, for the purpose of preventing recurrence and mitigating risk.
<b>National Public Transportation Safety Plan</b>	The plan to improve the safety of all public transportation systems that receive Federal financial assistance under 49 U.S.C. Chapter 53.
<b>Occurrence</b>	An Event without any personal injury in which any damage to facilities, equipment, rolling stock, or infrastructure does not disrupt the operations of a transit agency.
<b>Operator</b>	A provider of public transportation as defined under 49 U.S.C. 5302.
<b>Performance Measure</b>	An expression based on a quantifiable indicator of performance or condition that is used to establish targets and to assess progress toward meeting the established targets.
<b>Performance Target</b>	A quantifiable level of performance or condition, expressed as a value for the measure, to be achieved within a time period required by the FTA.
<b>Public Transportation Agency Safety Plan (or Agency Safety Plan)</b>	The documented comprehensive Agency Safety Plan for a transit agency that is required by 49 U.S.C. 5329 and Part 673.
<b>Risk</b>	The composite of predicted severity and likelihood of the potential effect of a hazard.
<b>Risk Mitigation</b>	A method or methods to eliminate or reduce the effects of hazards.
<b>Safety Assurance</b>	The processes within a transit agency's Safety Management System that function to ensure the implementation and effectiveness of safety risk mitigation, and to ensure that the transit agency meets or exceeds its safety objectives through the collection, analysis, and assessment of information.
<b>Safety Management Policy</b>	A transit agencies documented commitment to safety, which defines the transit agency's safety objectives and the accountabilities and responsibilities of its employees in regard to safety.
<b>Safety Management System</b>	The formal, top-down, organization-wide approach to managing safety risk and assuring the effectiveness of a transit agency's safety risk mitigation. SMS

	includes systematic procedures, practices, and policies for managing risks and hazards.
<b>Safety Performance Target</b>	A performance target related to safety management activities.
<b>Safety Promotion</b>	A combination of training and communication of safety information to support SMS as applied to the transit agency's public transportation system.
<b>Safety Risk Assessment</b>	The formal activity whereby a transit agency determines Safety Risk Management priorities by establishing the significance or value of its safety risks.
<b>Safety Risk Management</b>	A process within a transit agency's Agency Safety Plan for identifying hazards and analyzing, assessing, and mitigating safety risk.
<b>Serious Injury</b>	Any injury which: (1) Requires hospitalization for more than 48 hours, commencing within 7 days from the date when the injury was received; (2) Results in a fracture of any bone (except simple fractures of fingers, toes, or noses); (3) Causes severe hemorrhages,
<b>Transit Agency</b>	An operator of a public transportation system.
<b>Transit Asset Management Plan</b>	The strategic and systematic practice of procuring, operating, inspecting, maintaining, rehabilitating, and replacing transit capital assets to manage their performance, risks, and costs over their life cycles, for the purpose of providing safe, cost-effective, and reliable public transportation, as required by 49 U.S.C. 5326 and 49 CFR Part 625.

### 3.8 LIST OF ACRONYMS USED IN THE SAFETY PLAN

<b>Acronym</b>	<b>Word or Phrase</b>
<b>ADA</b>	American's with Disabilities Act of 1990
<b>ASP</b>	Agency Safety Plan (Also referred to as PTASP in Part 673)
<b>Bus (MB)</b>	Mode Bus
<b>CSO</b>	Chief Safety Officer
<b>DO</b>	Directly Operated
<b>DR</b>	Deviated Route
<b>ESRP</b>	Employee Safety Reporting Program
<b>FTA</b>	Federal Transit Administration
<b>MPO</b>	Metropolitan Planning Organization
<b>Part 673</b>	49 CFR Part 673 (Public Transportation Agency Safety Plan)
<b>PT</b>	Paid Transportation
<b>PTASP</b>	Public Transportation Agency Safety Plan
<b>SMS</b>	Safety Management Systems
<b>SPT</b>	Safety Performance Targets
<b>SRM</b>	Safety Risk Management
<b>VRM</b>	Vehicle Revenue Miles



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Chris Garman  
Streets and Solid Waste Supervisor

**Item Title:**

Resolution authorizing the Director of Public Works to issue a purchase order to Toter, LLC for the purchase of Toter garbage carts in the amount of \$26,425.05.

**Explanation:**

Every year, new Toter garbage carts are ordered for new residents, and to replace any broken carts. The carts are purchased off the National IPA Cooperative Purchasing group. National IPA has been approved as a Purchasing Vendor by the City. We will be ordering two hundred (200) 96-gallon carts, one hundred and fifty (150) 64-gallon carts and fifty (50) 32-gallon carts with the purchase order.

**Relationship to Goals:**

Provide an effective use of resources to ensure the City gets the best value through its Minor Equipment Replacement Fund for its garbage cart purchases.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

Sufficient funds are budgeted in the Operations budget for this purchase.

**List Attachments:**

Resolution  
National IPA Quote

RESOLUTION AUTHORIZING THE DIRECTOR OF PUBLIC WORKS TO ISSUE A PURCHASE  
ORDER TO TOTER, LLC FOR THE PURCHASE OF TOTER GARBAGE CARTS  
IN THE AMOUNT OF \$26,425.05

WHEREAS, the City's purchasing policies require that any contract purchases in the amount of \$25,000 or greater be approved by a City Council resolution, and

WHEREAS, the City requires new garbage carts and lids to distribute to its residents as needed, and

WHEREAS, this purchase will be made through the National IPA Cooperative Purchasing group, and

WHEREAS, the City of Bettendorf will be ordering two hundred (200) 96-gallon carts, one hundred and fifty (150) 64-gallon carts and fifty (50) 32-gallon carts with the purchase order.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the Director of Public Works is hereby authorized and directed to issue a Purchase Order to Toter, LLC, in the amount of \$26,425.05 for garbage carts and lids.

Passed, Approved, and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



841 Meacham Rd, Statesville, NC, 28677  
 PHONE: 800-424-0422 FAX: 833-930-1124  
 WQ-10241095

**Sell To:**

Contact Name	Chris Garman	Ship To Name	City of Bettendorf
Bill To Name	City of Bettendorf	Ship To	4403 Devils Glen Rd
Bill To	2850 18th St Bettendorf, IA 52722 USA		Bettendorf, IA 52722 USA
Email	cgarman@bettendorf.org		
Phone	(563) 344-4098		
Mobile	(563) 594-9141		

**Quote Information**

Salesperson	Becky Nerby	Created Date	7/20/2022
Salesperson Email	<a href="mailto:bneryby@wastequip.com">bneryby@wastequip.com</a>	Expiration Date	8/4/2022
Salesperson Phone	651-480-4871	Quote Number	WQ-10241095

Please Reference Quote Number on all Purchase Orders

Product	Product Description	Selected Option	Quantity	Sales Price	Total Price
**Plastics - 79232 - OMNIA	Model 79232 - Toter 32 Gallon EVR II Universal/Nestable Cart	---Body Color - (149) Dark Gray Granite ---Lid Color - (200) Black ---Body Hot Stamp on Both Sides (Existing) in White ---Lid Hot Stamp Center - Read from Rear (Existing) in White ---Wheels - 10in Sunburst ---Stopbar - Galvanized ---Customer Serial Number Hot Stamped on Front of Cart Body in White ---2/3 Assembled with Lid (down), Stop Bar and Axle Factory Installed ---Warranty - 12 Yrs Cart Body, All other components 10 Yrs	50.00	\$46.30	\$2,315.00
**Plastics - 79264 - OMNIA	Model 79264 - Toter 64 Gallon EVR II Universal/Nestable Cart-OMNIA	---Body Color - (149) Dark Gray Granite ---Lid Color - (200) Black ---Body Hot Stamp on Both Sides (Existing) in White ---Lid Hot Stamp Center - Read from Rear (Existing) in White ---Wheels - 10in Sunburst ---Stopbar - Galvanized ---Customer Serial Number Hot Stamped on Front of Cart Body in White ---2/3 Assembled with Lid (down), Stop Bar and Axle Factory Installed ---Warranty - 12 Yrs Cart Body, All other components 10 Yrs  ---Body Color - (149) Dark Gray Granite ---Lid Color - (200) Black ---Body Hot Stamp on Both Sides (Existing) in White ---Lid Hot Stamp Center - Read from Rear	150.00	\$53.28	\$7,992.00



841 Meacham Rd, Statesville, NC, 28677  
 PHONE: 800-424-0422 FAX: 833-930-1124  
 WQ-10241095

**Plastics - 79296 - OMNIA	Model 79296 - Toter 96 Gallon EVR II Universal/Nestable Cart-OMNIA	(Existing) in White ---Wheels - 10in Sunburst ---Stopbar - Galvanized ---Customer Serial Number Hot Stamped on Front of Cart Body in White ---2/3 Assembled with Lid (down), Stop Bar and Axle Factory Installed ---Warranty - 12 Yrs Cart Body, All other components 10 Yrs	200.00	\$63.29	\$12,658.00
-------------------------------	---	--	--------	---------	-------------

Payment Terms	Net 30 Days if credit has been established	Subtotal	\$22,965.00
Shipping Terms	FOB Origin	Shipping	\$3,460.05
		Tax	\$0.00
		Grand Total	\$26,425.05

**Special Instructions**

Special Instructions Customer is responsible for the off loading of the carts.

**Additional Information**

**Additional Terms** Our Quote is a good faith estimate, based on our understanding of your needs. Subject to our acceptance, your Order is an offer to purchase our Products and services in accordance with the Wastequip Terms & Conditions of Sale ("WQ T&C") located at: <https://www.wastequip.com/terms-conditions-of-sale>, as of the date set forth in Section 1(b) of the WQ T&C, which are made a part of this Quote. These WQ T&Cs may be updated from time to time and are available by hard copy upon request.

**Additional Information** Pricing is based on your anticipated Order prior to the expiration of this Quote, including product specifications, quantities and timing, accepted delivery within 45 days of Order acceptance by Toter. Any differences to your Order may result in different pricing, freight or other costs. Due to volatility in petrochemical, steel and related Product material markets, actual prices and freight, are subject to change. We reserve the right, by providing notice to you at any time before beginning Product manufacturing, to increase the price of the Product(s) to reflect any increase in the cost to us which is due to any factor beyond our control (such as, without limitation, any increase in the costs of labor, materials, or other costs of manufacture or supply). Unless otherwise stated, materials and container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes and representations - actual volume, Products and materials are subject to manufacturing and commercial variation and Wastequip's practices, and may vary from nominal sizes and materials. All prices are in US dollars; this Quote may not include all applicable taxes, brokerage fees or duties. If customer is not tax exempt, final tax calculations are subject to change.

**Special Contract Information** Please Note: Pricing and Product offerings is based on the OMNIA Partners, Public Sector (subsidiaries National IPA and U.S. Communities) agreement through Toter's Contract No. 171717 as awarded by the City of Tucson on 02-01-2018. Per the terms of this contract, pricing and products are evaluated every three (3) months for price adjustments based on current market conditions, at any time without prior notice, and after City of Tucson approval. The current pricing is effective 5-1-2022 through 7-31-2022. Toter, LLC Product Warranties, Disclaimers, Limitation of Liability and Remedies, and Limited Warranty Provisions apply to all purchases thereunder.

**Signatures**

Accepted By: \_\_\_\_\_

Company Name: \_\_\_\_\_

Date: \_\_\_\_\_

Purchase Order: \_\_\_\_\_

**Please Reference Quote Number on all Purchase Orders**



**MEETING DATE:** August 2, 2022  
**REQUESTED BY:** Mark Garrow  
Transit/Garage Manager

<p><b>Item Title</b></p> <p>Resolution authorizing the Director of Public Works to issue a purchase order to MTI Distributing for one (1) new and unused Toro Groundsmaster 5900 Mower.</p>
<p><b>Explanation:</b></p> <p>The Vehicle Replacement Committee has approved the purchase of one (1) new and unused Toro Groundsmaster5900 Mower. This mower will serve to outfit the Parks Maintenance Department with their operations.</p> <p>One quote was received from MTI Distributing in the amount of \$121,667.31. MTI Distributing is an approved dealer for Toro. Toro is an approved vendor on Sourcewell. Sourcewell is a joint purchasing group. The city’s purchasing policy allows for purchases to be made through joint purchasing groups without going through a separate bidding process. This process has been utilized for this purchase.</p>
<p><b>Relationship to Goals:</b></p> <p>Provide an effective use of resources to ensure the City gets the best value through its Vehicle Replacement Fund for its vehicle purchases and improvements.</p>
<p><b>If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:</b></p> <p>This vehicle will be purchased in the current fiscal year 22/23. The Vehicle Replacement Fund has sufficient funds budgeted for this purchase.</p>
<p><b>List Attachments:</b></p> <p>Resolution Quote</p>

RESOLUTION NO. \_\_\_\_\_-22

RESOLUTION AUTHORIZING THE DIRECTOR OF PUBLIC WORKS TO ISSUE A  
PURCHASE ORDER TO MTI DISTRIBUTING FOR ONE (1) NEW AND UNUSED  
TORO GROUNDSMASTER 5900 MOWER

WHEREAS, the purchase of one (1) new and unused Toro Groundsmaster5900 Mower has been approved by the Vehicle Replacement Committee, and

WHEREAS, the proposed mower meet the specifications recommended by staff, and

WHEREAS, MTI Distributing is an approved Toro dealer. Toro is an approved vendor on Sourcewell.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the Director of Public Works is hereby authorized and directed to issue a Purchase Order in the amount of \$121,667.31 for one (1) new and unused Toro Groundsmaster5900 Mower.

Passed, Approved, and Adopted this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



MTI Distributing  
Equipment Quote  
December 8, 2021



Mark Garrow  
City of Bettendorf

Quote Expiration Date: 1/7/2022

**SOURCEWELL CONTRACT PRICING - CONTRACT #06217-TTC**

Qty	Model Number	Description	Quote Price Each	Quote Price Extended
1	31698	Groundsmaster 5900	\$116,022.66	\$116,022.66
1	44958	MVP Kit 1000 Hour	\$377.75	\$377.75
City of Bettendorf Sourcewell Member #2110				
			Subtotal	\$116,400.41
			6% Sales Tax	Exempt
			<b>Total</b>	<b>\$116,400.41</b>

Qty	Model Number	Description	Quote Price Each	Quote Price Extended
Optional Groundsmaster 5900 Accessories:				
1	31604	Leaf Mulching Kit	\$2,425.80	\$2,425.80
1	30669	Universal Sunshade, White	\$691.86	\$691.86
1	132-1391	Atomic Blade Service Pack (11 Blades)	\$285.12	\$285.12
10	93-5973	10 Inch Foam Filled Caster Wheel Assembly	\$186.41	\$1,864.12
			Subtotal	\$5,266.90
			6% Sales Tax	Exempt
			Total	\$5,266.90

Quote is valid for 30 days; pending product availability  
 Net 30 Terms with qualified credit  
 New Toro commercial equipment comes with a two-year manufacturer warranty  
 Equipment delivery and set-up at no additional charge  
 All commercial products purchased by a credit card will be subject to a 2.5% service fee.

TOTAL \$ 121,667.31  
 w/ ALL  
 OPTIONS

Thank you for the opportunity to submit this quote. If you have any questions, please do not hesitate in contacting us.

Bill Maynard  
Commercial Sales Manager  
314-506-4120

Karen Wangenstein  
Inside Sales Representative  
763-592-5643

MTI Distributing, Inc. • 3841 SE Capitol Circle • Grimes, IA 50111

I commit to the purchase as detailed on the above quote. I reserve the right to opt out of intended purchase at any time prior to scheduled delivery.  
 Name: Bryan Schmidt, Public Works Director  
 Signature: *[Signature]*  
 Date: 12/14/21



**MEETING DATE:** August 2, 2022 (SPH)  
August 16, 2022 (HPH)

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution setting a date for public hearing on the rezoning of property generally located east of Crestview Heights Subdivision, A-1 Agricultural/Urban Reserve District to A-2 Rural Residence District, submitted by Bill Pender. (Case 22-041) (8/2/22)

Public hearing and first reading of an ordinance rezoning property generally located east of Crestview Heights Subdivision, A-1 Agricultural/Urban Reserve District to A-2 Rural Residence District, submitted by Bill Pender. (Case 22-041) (8/16/22)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Bill Pender has submitted a request to rezone property located east of Crestview Heights subdivision and west of Crow Creek (see Aerial Map – Attachment A). The applicant proposes to rezone the 1.33-acre lot from A-1, Agricultural/Urban Reserve District to A-2, Rural Residence District (see Proposed Zoning – Attachment B). The applicant is preparing the property for sale with the future proposed use of one single-family home.

The area proposed for development is contemplated in the Bettendorf Future Land Use Map as ULI, Urban Low Intensity (see Future Land Use Map – Attachment C). Adjacent areas located to the east, south, and west are also shown as ULI. Areas along Crow Creek located north of the property are shown as parks, open space, or greenways on the Future Land Use Map.

The applicant has submitted a signed and recorded access agreement which will allow him to construct a driveway over properties to the west and access Crestview Heights Drive (see Access Agreement – Attachment D). Crestview Heights Drive is a privately-maintained road and any agreements, payments, or membership for use of that road would need to be worked out between the owner of the lot in question and the homeowner’s association for the subdivision which maintains the road.

A single-family home in this area would be compatible with the surrounding properties, especially in the Crestview Heights subdivision. The proposed rezoning is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods.

The Planning and Zoning Commission made a recommendation for approval of the rezoning request by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Aerial Map; (B) Proposed Zoning; (C) Future Land Use Map; (D) Access Agreement; (E) Staff report to the Planning and Zoning Commission; (F) Planning and Zoning Commission report to the Mayor and City Council; (G) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION NO. \_\_\_\_\_ - 22**

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON THE REZONING OF  
PROPERTY GENERALLY LOCATED EAST OF CRESTVIEW HEIGHTS SUBDIVISION  
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT  
TO A-2, RURAL RESIDENCE DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for August 16, 2022, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of a rezoning of property generally located east of Crestview Heights Subdivision from A-1 Agricultural/Urban Reserve District to A-2, Rural Residence District and which is legally described as follows:

A tract of land, located in the Southeast Quarter of Section 14, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, Scott County, Iowa described as follows:

Commencing at the Southwest Corner of said Quarter Section; thence N. 90° 00' 00" E., 1780.00 feet, along the South line of said Quarter Section, to the point of beginning; thence N. 90° 00' 00" E., 200.00 feet, along the South line of said Quarter Section, to a point being N. 90° 00' 00" W. 664.00 feet, more or less, from the Southeast Corner of said Quarter Section; thence N. 12° 08' 32" W., 508.00 feet; thence S. 25° 44' 38" W., 134.66 feet, thence Southwestwardly, along the Southwestwardly edge of an irregular curved road, being concave to the Northwest, the chord of which bears S. 22° 20' 21" W., 250.92 feet; thence S. 22° 58' 04" E., 155.59 feet, to the point of beginning. Said tract contains 1.33 acres, more or less.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**ORDINANCE NO. \_\_\_\_\_ - 22**

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA ZONE MAP FOR  
PROPERTY GENERALLY LOCATED EAST OF CRESTVIEW HEIGHTS SUBDIVISION  
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO  
A-2 RURAL RESIDENCE DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to property generally located east of Crestview Heights Subdivision and which is legally described as:

A tract of land, located in the Southeast Quarter of Section 14, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, Scott County, Iowa described as follows:

Commencing at the Southwest Corner of said Quarter Section; thence N. 90° 00' 00" E., 1780.00 feet, along the South line of said Quarter Section, to the point of beginning; thence N. 90° 00' 00" E., 200.00 feet, along the South line of said Quarter Section, to a point being N. 90° 00' 00" W. 664.00 feet, more or less, from the Southeast Corner of said Quarter Section; thence N. 12° 08' 32" W., 508.00 feet; thence S. 25° 44' 38" W., 134.66 feet, thence Southwestwardly, along the Southwestwardly edge of an irregular curved road, being concave to the Northwest, the chord of which bears S. 22° 20' 21" W., 250.92 feet; thence S. 22° 58' 04" E., 155.59 feet, to the point of beginning. Said tract contains 1.33 acres, more or less.

and which is now zoned A-1 Agricultural/Urban Reserve District is hereby repealed and said described land shall hereinafter be zoned A-2 Rural Residence District and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

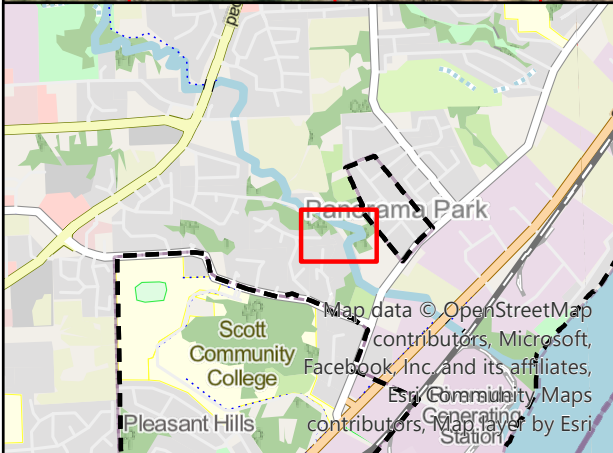
\_\_\_\_\_  
Decker P. Ploehn, City Clerk

# Case 22-041: East of Crestview Heights Subdivision

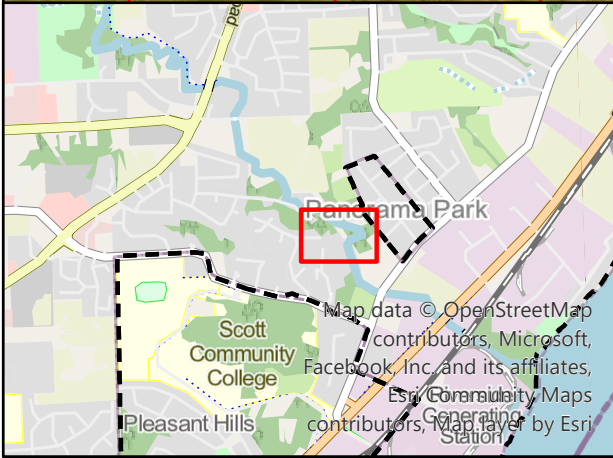
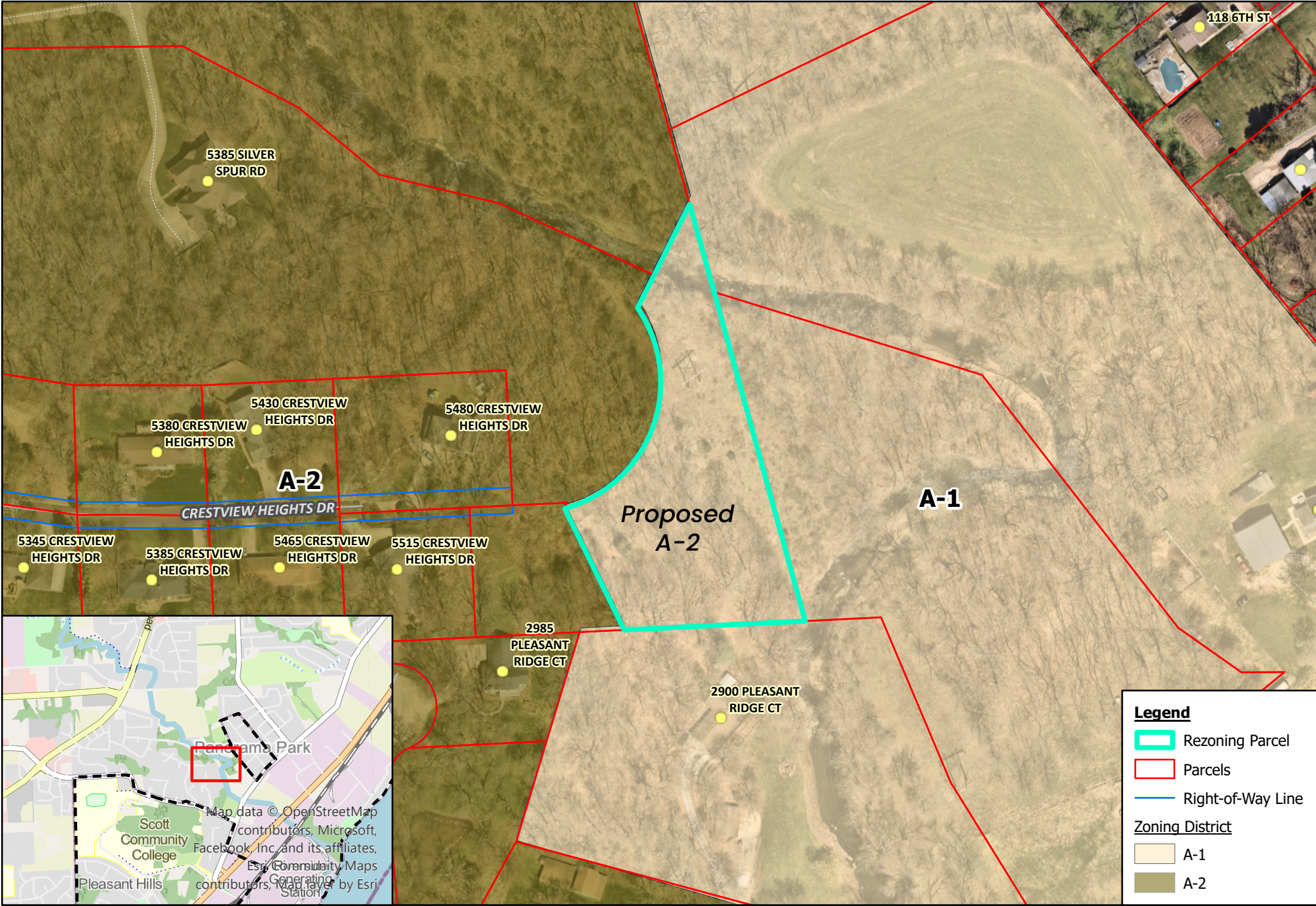
## Rezoning: A-1 to A-2

### Aerial Map

1 Inch = 141 Feet



1 Inch = 141 Feet



**Legend**

- Rezoning Parcel
- Parcels
- Right-of-Way Line

**Zoning District**

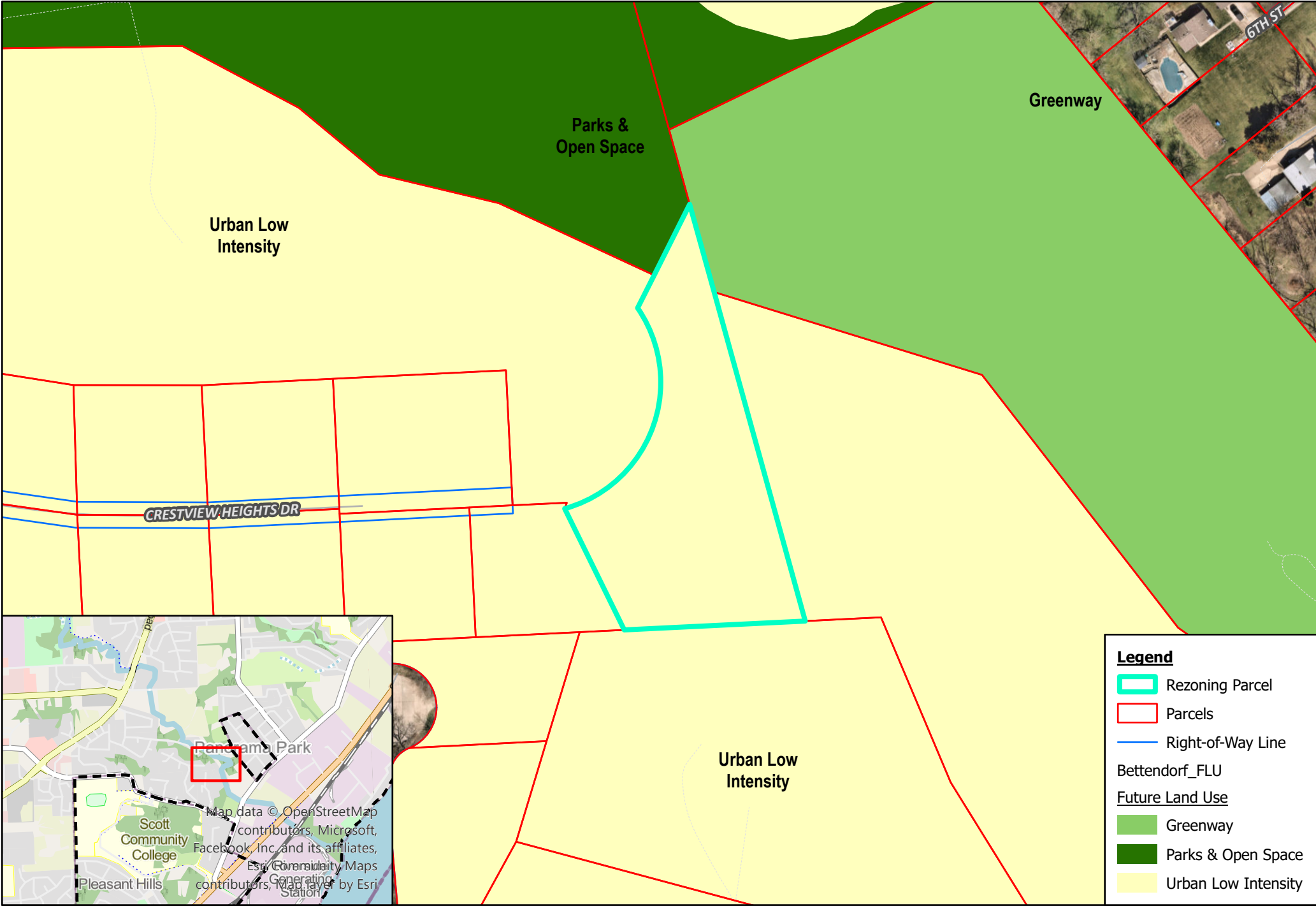
- A-1
- A-2

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri, Community Maps contributors, Map layer by Esri Station

# Case 22-041: East of Crestview Heights Subdivision

## Rezoning: A-1 to A-2

### Future Land Use



**Legend**

- Rezoning Parcel
- Parcels
- Right-of-Way Line

Bettendorf\_FLU

Future Land Use

- Greenway
- Parks & Open Space
- Urban Low Intensity

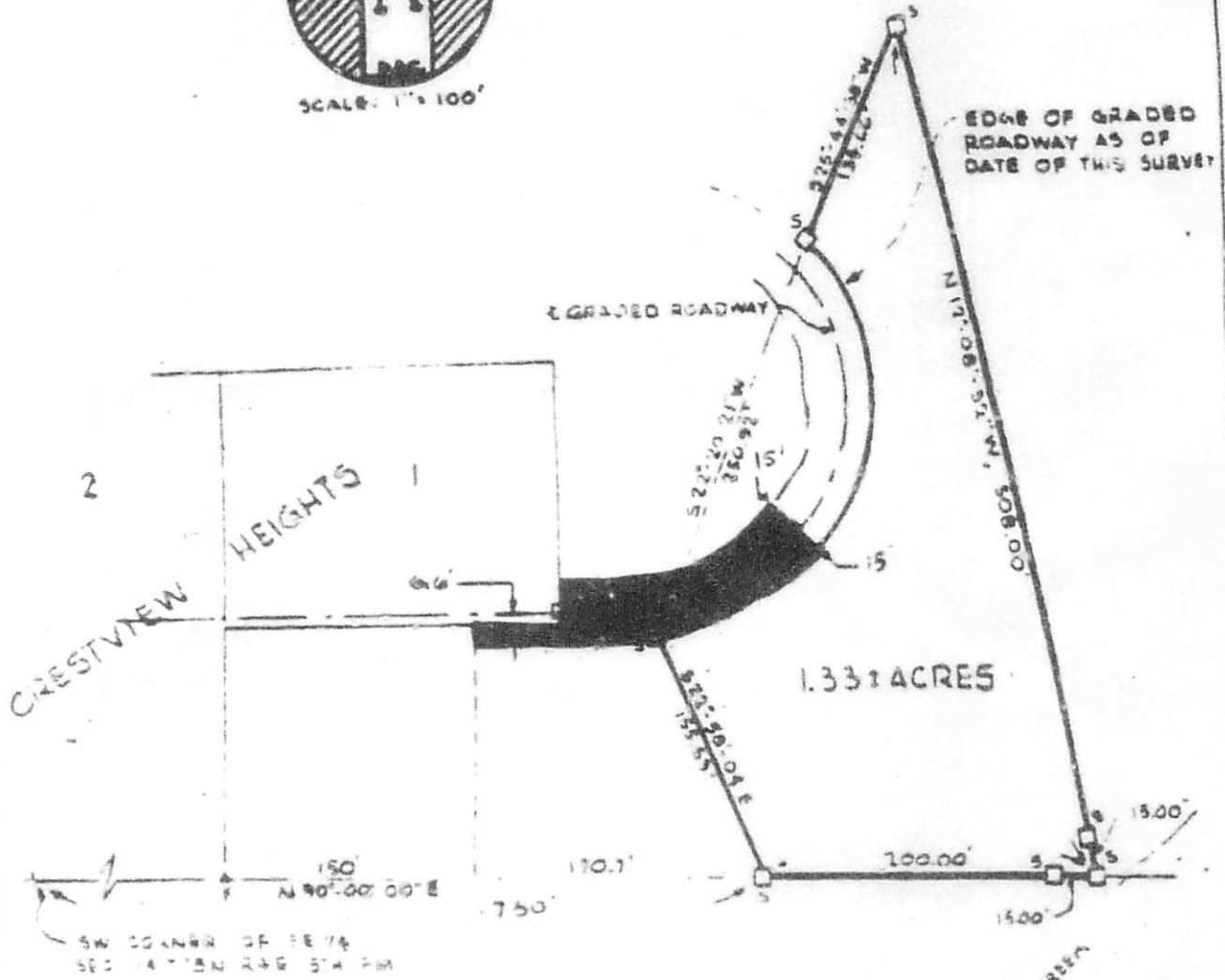
Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri, Community Maps contributors, Map layer by Esri Station

Panorama Park

Scott Community College

Pleasant Hills

# Attachment D - Access Agreement



I HEREBY CERTIFY THAT THIS PLAT, MAP, SURVEY OR REPORT WAS MADE BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

### LEGEND

- S - SET
- - ROUND
- - 1/2" x 1/2" x 24 LONG STEEL PIN
- - ROUND STEEL PIN



## PLAT AND SURVEY

I, RICHARD P. WITHENBURY, A REGISTERED IOWA LAND SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE IS A CORRECT PLAT AND SURVEY OF

PART OF THE SE 1/4 SEC 14 T18N R49 5TH PM

SEE ATTACHED DESCRIPTION

L.S. No. 4570

*Richard P. Withenbury*

DATE

MAY  
1973



**BELING ENGINEERING CONSULTANTS**  
REGISTERED SURVEYORS

JOB NO.  
515-

4-36-

HOLING 111 FROSA 111 TRAPPERS 111 ROBERTS 111 WELLS 111 OREGON 111  
MILWAUKEE WIS. ST. LOUIS MO. CHICAGO ILLINOIS IOWA INDIANAPOLIS INDIAN INDIANAPOLIS INDIAN

685 NOV -6 PM 1:59  
FEE \$20.00 paid  
Q

ACCESS AGREEMENT

18076-85

This Agreement is made and entered into on this 30th day of October, 1985, by and between Judith J. Morrell, 5094 Newwood Drive, Bettendorf, Iowa, hereinafter referred to as Grantor, and Jane G. Wallower, #9 Gregg Drive, Loveland, Colorado, hereinafter referred to as Grantee.

W I T N E S S E T H :

WHEREAS, Grantor is the owner in fee simple of certain real estate located in the City of Bettendorf, Scott County, Iowa; and,

WHEREAS, Grantee is the owner in fee simple of real estate adjoining Grantor's; and,

WHEREAS, Grantor has agreed to give Grantee an easement for access across Grantor's real estate for access to and from Grantee's real estate.

NOW, THEREFORE, in consideration of the sum of Three Hundred Dollars and other valuable consideration receipt of which is hereby acknowledged, Grantor and Grantee agree as follows:

1. Grantor does hereby grant to Grantee and her assigns a temporary nonexclusive easement 30 feet in width across Grantor's real estate described and shaded in black on Exhibit "A", Description One which is attached hereto and by this reference made a part hereof, for ingress and egress to Grantee's real estate described in Exhibit "A", Description Two.
2. At such time as Grantor or her assigns subdivide and plat the real estate immediately adjoining Grantee's real estate, Grantee shall join in said platting and shall pay her proportionate share of the costs of said platting including subdivision improvements required by the City of Bettendorf, which costs shall be apportioned based on the number of lots in the subdivision owned by each subdivider. Said platting shall provide for permanent access from a public roadway to Grantor's and Gran-



EXHIBIT "A"

Description One

A roadway 30 feet in width connecting the east end of Crestview Heights Drive, in the City of Bettendorf, Iowa, and the real estate described in Exhibit "A", Description Two and as located and shaded in black on the attached Plat and Survey attached hereto and by this reference made a part hereof prepared by Richard P. Wittenbury in May of 1983.

Said real estate is located in the Southeast quarter of Section 14, Township 78 North, Range 4 East of the 5th P.M. in the City of Bettendorf, Scott County, Iowa.

Description Two

A tract of land, located in the Southeast Quarter (SE $\frac{1}{4}$ ) of Section 14, Township 78 North, Range 4 East of the 5th Principal Meridian, Scott County, Iowa, described as follows:

Commencing at the southwest corner of said Quarter Section; thence N. 90° 00' 00" E., 1780.00 feet, along the south line of said quarter Section, to the point of beginning; Thence W. 90° 00' 00" E., 200.00 feet, along the south line of said Quarter Section, to a point being N. 90° 00' 00" W., 664.00 feet more or less, from the southeast corner of said Quarter Section; Thence N. 12° 05' 12" W., 508.00 feet; Thence S. 25° 44' 38" W., 134.66 feet; Thence Southwestwardly, along the south-eastwardly edge of an irregular curved road, being concave to the northwest, the chord of which bears S. 22° 20' 21" W., 250.92 feet; Thence S. 22° 58' 04" E., 155.59 feet, to the point of beginning. (1.33 acres more or less)



**COMMUNITY DEVELOPMENT**

City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4079

July 20, 2022 Bettendorf Planning & Zoning Commission Meeting

Staff Report

**Case No. 22-041**

**Application:** Rezoning: A-1, Agricultural/Urban Reserve District to A-2, Rural Residence District

**Location:** East of Crestview Heights Subdivision

**Legal Description:** Part of the SE ¼ of Section 14, Township 78 North, Range 4 East of the Principal Meridian, Bettendorf, Iowa (Parcel #: [841455003](#))

**Applicant:** Bill Pender

**Current Zoning:** A-1, Agricultural/Urban Reserve District

**Future Land Use:** ULI, Urban Low Intensity

**Background Information and Facts**

Bill Pender has submitted a request to rezone property located east of Crestview Heights subdivision and west of Crow Creek (see Aerial Map – Attachment A). The applicant proposes to rezone the 1.33-acre lot from A-1, Agricultural/Urban Reserve District to A-2, Rural Residence District (see Proposed Zoning – Attachment B). The applicant is preparing the property for sale with the future proposed use of one single-family home.

**Future Land Use and Comprehensive Plan**

The area proposed for development is contemplated in the Bettendorf Future Land Use Map as ULI, Urban Low Intensity (see Future Land Use Map – Attachment C). Adjacent areas located to the east, south, and west are also shown as ULI. Areas along Crow Creek located north of the property are shown as parks, open space, or greenways on the Future Land Use Map.

A single-family home in this area would be compatible with the surrounding properties, especially in the Crestview Heights subdivision. The proposed rezoning is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods.

### **Lot Configuration and Zoning Compliance**

The proposed rezoning lot contains 1.33 acres and is currently zoned A-1. The minimum lot size for an A-1 District single family development is 5 acres, restricting current development of the lot. This lot would be conforming in the proposed A-2 Zoning District and have a variety of allowable house locations.

### **Floodplain**

Currently, regulated floodplain and floodway exist on the property along the shores of Crow Creek. These floodplain areas are on the far northern portions of the property and would not be a desirable location for a house.

### **Utilities**

Water service is available to the property, but at this time there is no City sewer service available. An on-site private waste disposal system would be required for any future development. Septic waste systems are permitted in the A-2 Zoning District, and it appears there is enough space on the property for construction of a system. The Scott County Health Department will review and issue permits for any septic system.

A power line bisects the northern portion of the property and restricts any development in this area.

### **Thoroughfare Plan & Access**

The applicant has submitted a signed and recorded access agreement which will allow him to construct a driveway over properties to the west and access Crestview Heights Drive (see Access Agreement – Attachment D). Crestview Heights Drive is a privately-maintained road and any agreements, payments, or membership for use of that road would need to be worked out between the owner of the lot in question and the homeowner's association for the subdivision which maintains the road.

### **Storm Water Detention**

The site would not require any additional storm water infrastructure.

### **Staff Recommendation**

In addition to the noted analysis contained in the staff report, staff finds the zoning amendment adequately addresses all of the following concerns as prescribed in 11-15-13(B) of the Zoning Ordinance:

1. The rezoning conforms to the future land use map in the comprehensive plan as described in the Preamble and further in subsection A-1-3 of Appendix 1.
2. The amendment is consistent with the goals and objectives of the comprehensive plan.
3. If the responses for both Subsection 11-15-13 B.1. and 11-15-13 B.2. of this section are not affirmative, then either the amendment request recommendation must be denied or the planning and zoning commission and city council must amend the comprehensive plan to provide the required consistency.
4. The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.
5. The potential externalities and applicable performance standards requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.
6. There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.
7. The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.
8. The proposed amendment is in the public interest and not solely in the interests of the applicant.

Staff recommends approval of the rezoning request.

Respectfully submitted,

Taylor Beswick  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on rezoning request for property generally located east of Crestview Heights Subdivision, A-1 to A-2, submitted by Bill Pender. (Case 22-041)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

5. Case 22-041; East of Crestview Heights Subdivision, A-1 Agricultural/Urban Reserve District to A-2 Rural Residence District, submitted by Bill Pender.

Beswick reviewed the staff report.

Adam asked if there is any assurance that arrangements can be made to provide access for the lot. Hunt stated that there is a recorded agreement, adding that any land dispute would have to be handled through the court system since all of the property involved is privately-owned. Beswick added that there is a power line running through the property that would likely restrict building under it and there are two small areas of designated flood plain on the north and south sides of the property. He explained that at such time as a single-family house were to be built, all setback requirements would have to be observed.

Wennlund stated that it appears as though the private street does not extend to the applicant's property. Beswick confirmed this, adding that the applicant would likely build a private driveway as the construction of one single-family home would not merit the extension of the street. Morlok commented that the city has no jurisdiction as Crestview Heights Drive is a private roadway that the city does not maintain.

Mindy Williams, 2975 Elk Drive, expressed concern that a new subdivision would be built and questioned why she had not received a notice by mail or seen a notification sign until last night. Wennlund stated that letters are typically mailed to residents within 200 feet of the property in question. Beswick explained that he had verified that the sign was posted on the property and that the boundary for mailing notices had been extended because of the uniqueness of the location of the lot. Morlok commented that the need for a bridge to be built over Crow Creek would preclude a developer's building a subdivision in that area. Hunt stated that the A-2 district would only allow a rural home and that a subdivision would not be allowed.

Charlene Merritt, 5505 Crestview Heights Drive, stated that she moved the notification sign to the location where she believed it would be more visible. She stated that the access easement referenced is not shown on her warranty deed and expressed concern about the environment, possible flooding, the collection of a prorated fee from the applicant for the road's maintenance, and the disruption of the natural habitat. Wennlund reiterated that because the street is private, the city has no control over it.

Ken Burke, 5020 Crestview Heights Drive, commented that any new homeowner would be required to join the homeowner's association and recommended that the rezoning be approved based on the easement's holding up in court. Wennlund explained that the city cannot take on the role of adjudicator and cannot for good cause pause because it's not relevant to their discussion and the Commission has been provided proof of access. He stated that the concerns that have been expressed with regard to the street are the burden of the HOA to resolve.

Dale Ruplinger, 5345 Crestview Heights Drive stated that the runoff from heavy rains and snow melt created a gully at the end of the street that could be unsafe for children. He commented that the runoff flows toward the property in question and in his opinion should be a designated wetland. He expressed concern about heavy construction equipment damaging the street that the association has just finished repairing.

Wennlund asked how the city would be involved during the building permit process with regard to the concerns that have been expressed. Morlok explained that a builder would be required to comply with the city's erosion control ordinance and provide a basic grading plan. He added that no storm water detention would be required unless more than one acre of ground is disturbed. Ormsby commented that any construction on the property in question would likely not impact any of the neighbors.

Hunt stated that the property is currently zoned A-1 and is developable right now, reiterating that any discussions with regard to road construction, property rights, etc. are to be between the private property owners. He commented that a conforming use in the A-1 district could be built without rezoning the property, adding that the question of access would have to be worked out privately.

Bill Pender, the applicant, stated that he is planning to rezone and sell the lot, adding that he wants to protect the access easement for a future owner. He commented that he realizes there are some issues to be worked out with the homeowner's association. He stated that in 2007 the Merritts asked permission to encroach into the easement for an addition to their home and were denied as the city recognized the easement as being necessary to provide future access.

On motion by Stoltenberg, seconded by Adam, that the request to rezone property generally located east of Crestview Heights Subdivision, A-1 to A-2, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**MEETING DATE:** August 2, 2022 (SPH)  
August 16, 2022 (HPH)

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution setting a date for public hearing on the rezoning of property generally located southwest of the intersection of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by Youssi Investments of Iowa, LLC. (Case 22-047) (8/2/22)

Public hearing and first reading of an ordinance rezoning property generally located southwest of the intersection of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by Youssi Investments of Iowa, LLC. (Case 22-047) (8/16/22)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Youssi Investments of Iowa, LLC has submitted a request to rezone a 17.75-acre farm tract west of Criswell Street and south of Hopewell Avenue from A-1 to R-3. UMI and ULI land uses split the parcel (see Future Land Use Map - Attachment A and Zoning Map - Attachment B). R-3 is a permitted zoning district within both the noted Future Land Use designations on this site.

The petitioner's concept plan shows 11, four-unit townhomes on the eastern two-thirds of the site. The remaining one-third of the site is reserved for 33 single-family detached homes. In total, 85 dwelling units are contemplated for the site (see Concept - Attachment C). Site density is calculated at 4.79 units per acre, which is consistent with the requested zoning district classification and underlying Future Land Use designations.

All properties within Bettendorf that border the proposed site have a future land use designation of UMI or ULI and are zoned A-1. Properties to the east across Criswell Street fall within Scott County and are contemplated for future residential development. Their current zoning is Ag General. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods.

The Planning and Zoning Commission made a recommendation for approval of the rezoning request by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Future Land Use Map; (B) Zoning Map; (C) Concept Plan; (D) Staff report to the Planning and Zoning Commission; (E) Planning and Zoning Commission report to the Mayor and City Council; (F) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION NO. \_\_\_\_\_ - 22**

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON THE REZONING OF  
PROPERTY GENERALLY LOCATED SOUTHWEST OF THE INTERSECTION  
OF HOPEWELL AVENUE AND CRISWELL STREET  
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT  
TO R-3, MIXED RESIDENTIAL DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for August 16, 2022, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of rezoning of property generally located southwest of the intersection of Hopewell Avenue and Criswell Street from A-1 Agricultural/Urban Reserve District to R-3, Mixed Residential District and which is legally described as follows:

PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5<sup>th</sup> PRINCIPAL MERIDIAN, CITY OF BETENDORF, COUNTY OF SCOTT, STATE OF IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commencing at the Northeast corner of the Northeast Quarter of said Section 12; Thence South 02° 00' 41" East along the East line of said Section 12, a distance of 85.32 feet; Thence South 88° 00' 33" West, a distance of 33.00 feet to the West right of way line of Criswell Street and the point of beginning of the following described tract: Thence South 02° 00' 41" East along said West right of way line, a distance of 558.54 feet; Thence South 87° 15' 49" West, a distance of 1,295.61 feet to the West line of the Northeast Quarter of the Northeast Quarter of said Section 12; Thence North 02° 03' 30" West along said West line, a distance of 603.25 feet to the South right of way line of Hopewell Avenue; Thence South 87° 15' 04" East along said South right of way line, a distance of 1,251.10 feet; Thence South 47° 23' 12" East, a distance of 63.24 feet to the Point of Beginning.

Containing 17.926 acres, more or less.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**ORDINANCE NO. \_\_\_\_\_ - 22**

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA ZONE MAP FOR  
PROPERTY GENERALLY LOCATED SOUTHWEST OF THE INTERSECTION OF  
HOPEWELL AVENUE AND CRISWELL STREET  
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO  
R-3 MIXED RESIDENTIAL DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to property generally located southwest of the intersection of Hopewell Avenue and Criswell Street and which is legally described as:

PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5<sup>th</sup> PRINCIPAL MERIDIAN, CITY OF BETENDORF, COUNTY OF SCOTT, STATE OF IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Commencing at the Northeast corner of the Northeast Quarter of said Section 12; Thence South 02° 00' 41" East along the East line of said Section 12, a distance of 85.32 feet; Thence South 88° 00' 33" West, a distance of 33.00 feet to the West right of way line of Criswell Street and the point of beginning of the following described tract: Thence South 02° 00' 41" East along said West right of way line, a distance of 558.54 feet; Thence South 87° 15' 49" West, a distance of 1,295.61 feet to the West line of the Northeast Quarter of the Northeast Quarter of said Section 12; Thence North 02° 03' 30" West along said West line, a distance of 603.25 feet to the South right of way line of Hopewell Avenue; Thence South 87° 15' 04" East along said South right of way line, a distance of 1,251.10 feet; Thence South 47° 23' 12" East, a distance of 63.24 feet to the Point of Beginning.

Containing 17.926 acres, more or less.

and which is now zoned A-1 Agricultural/Urban Reserve District is hereby repealed and said described land shall hereinafter be zoned R-3 Mixed Residential District and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

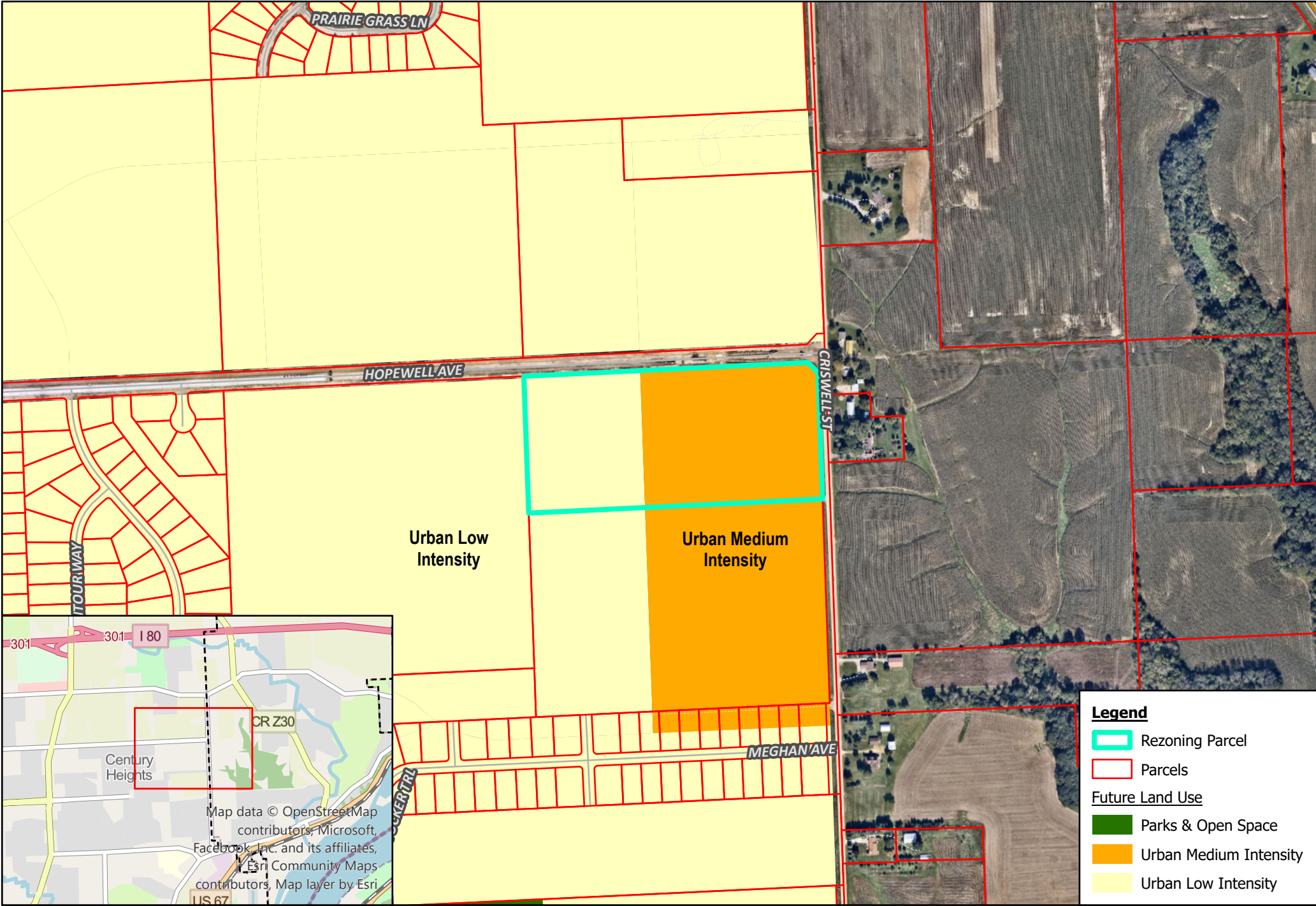
Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



Urban Low Intensity

Urban Medium Intensity

**Legend**

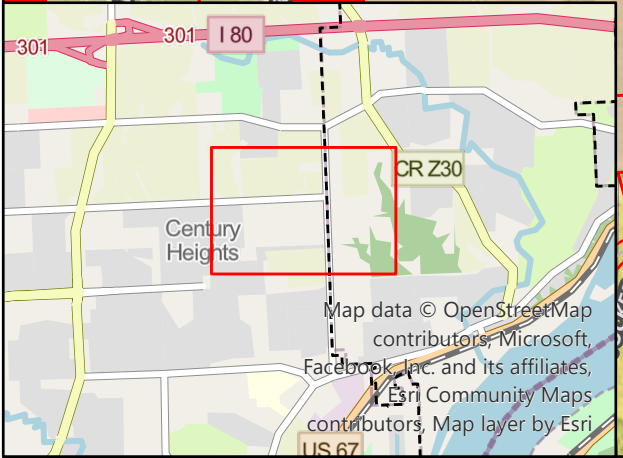
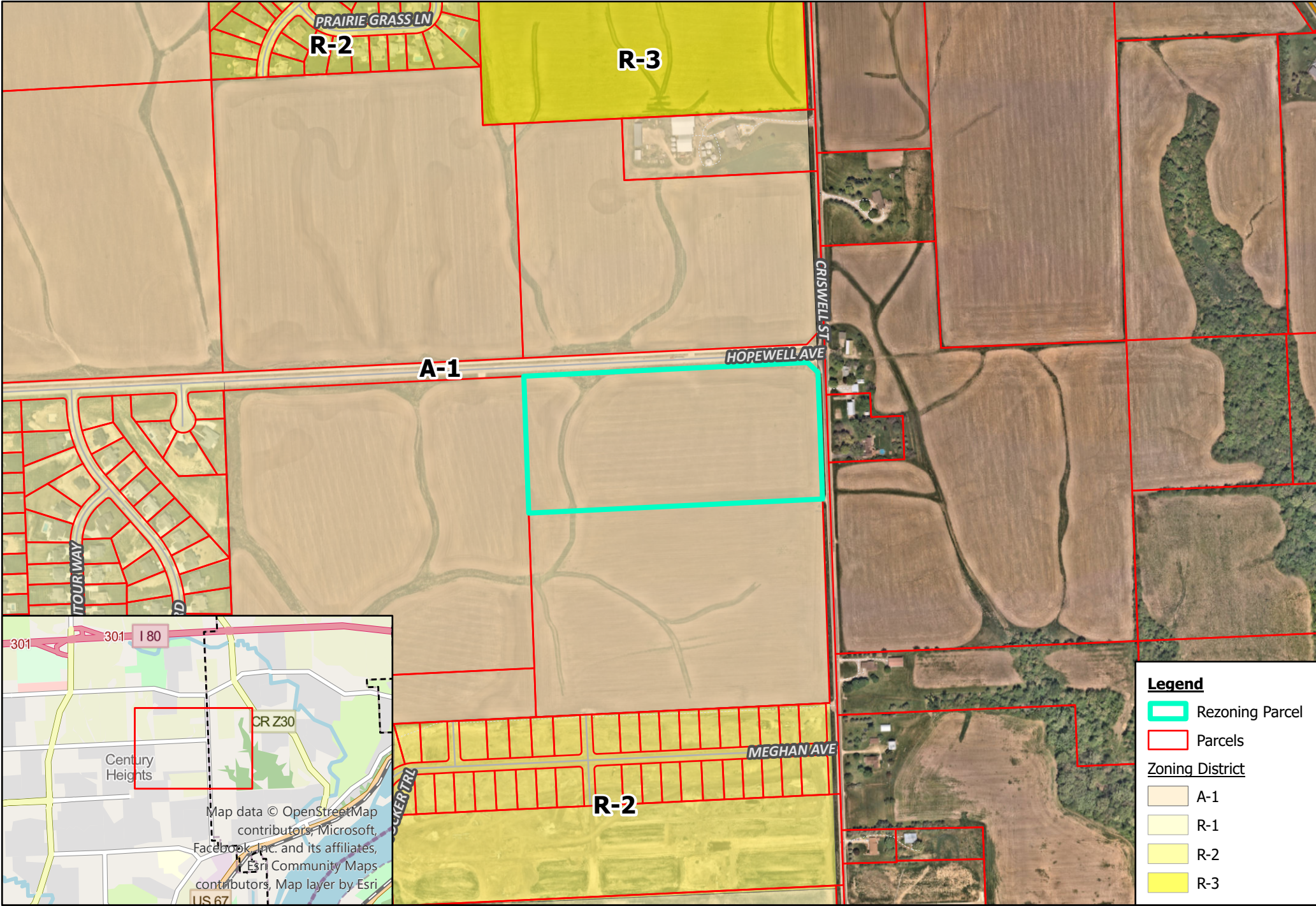
- Rezoning Parcel
- Parcels

**Future Land Use**

- Parks & Open Space
- Urban Medium Intensity
- Urban Low Intensity

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri US 67

1 Inch = 539 Feet



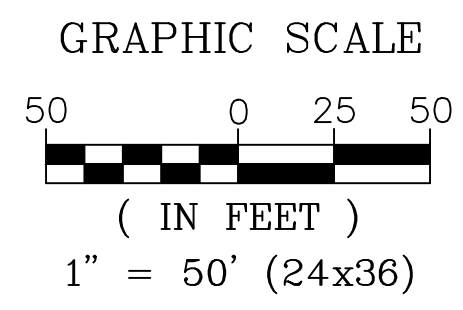
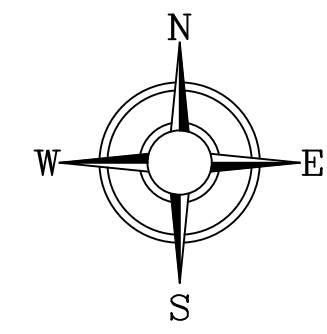
**Legend**

- Rezoning Parcel
- Parcels

**Zoning District**

- A-1
- R-1
- R-2
- R-3

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri US 67

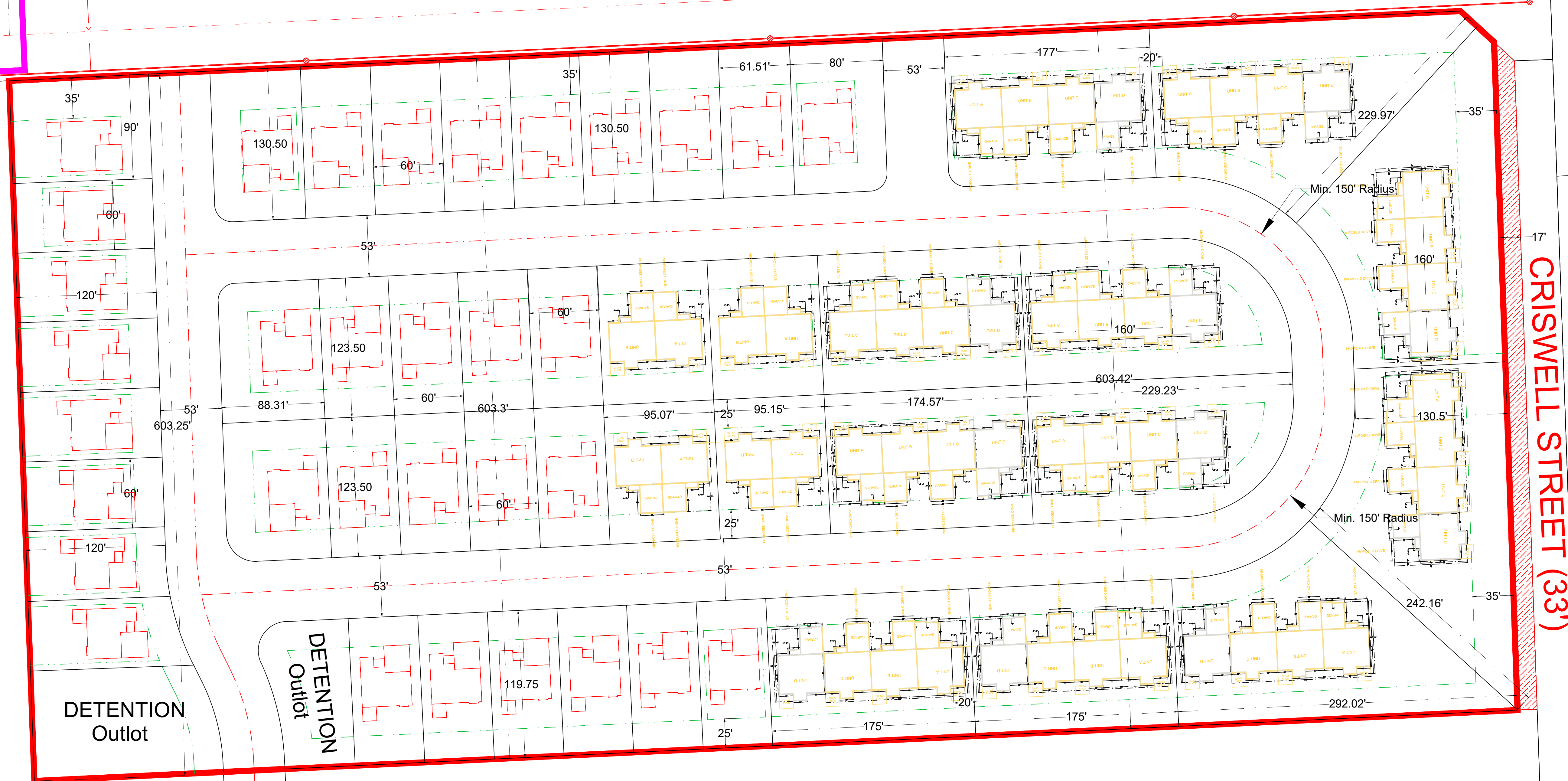


PROPOSED ZONING

R-3

17.75 DEVELOPED ACRES  
 SINGLE-FAMILY HOME: 33  
 4-PLEX RANCH: 44  
 2-PLEX RANCH: 4  
 TOTAL UNITS: 81  
 UNITS PER ACRE: 4.56

**HOPEWELL**



**CRISWELL STREET (33')**

NO.	REVISIONS: DESCRIPTION	DATE



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

July 20, 2022

Staff Report

### **Case No. 22-047**

**Location:** Southwest of corner of Hopewell Avenue and Criswell Street

**Request:** Rezoning from A-1 to R-3

**Current Zoning Classification:** A-1, Agricultural/Urban Reserve District

**Proposed Zoning Classification:** R-3, Mixed Residential District

**Current Land Use Designation:** Urban Low Intensity (ULI) and Urban Medium Intensity (UMI)

### **Background Information and Facts**

Youssi Investments of Iowa, LLC has submitted a request to rezone a 17.75-acre farm tract west of Criswell Street and south of Hopewell Avenue from A-1 to R-3. UMI and ULI land uses split the parcel (see Future Land Use Map - Attachment A and Zoning Map - Attachment B). The remainder of the parcel is proposed to remain as A-1 at this time. R-3 is a permitted zoning district within both the noted Future Land Use designations noted on this site.

The petitioner's concept plan shows 11, four-unit townhomes on the eastern two-thirds of the site. The remaining one-third of the site is reserved for 33 single-family detached homes. In total, 85 dwelling units are contemplated for the site (see Concept - Attachment C). Site density is calculated at 4.79 units per acre, which is consistent with the requested zoning and underlying Future Land Use designations.

It should be noted that the denser portion of the development generally aligns with the location of the UMI future land use designation, while the less dense area generally aligns with ULI future land use designation.

### **Future Land Use and Comprehensive Plan**

As previously noted, the future land use designations for the site are UMI and ULI. All properties within Bettendorf that border the proposed site have a future land use designation of UMI or ULI and are zoned A-1. Properties to the east across Criswell Street fall within Scott County and are contemplated for future residential development. Their current zoning is Ag General. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods.

Staff has noted similarity with this proposal and four recent cases in which mixed residential uses (townhome/duplex/single-family) were approved adjacent to single-family subdivisions and/or undeveloped A-1 districts were. Those cases are as follows:

1. Wyndham Villas, zoned R-4
2. The Meadows, zoned R-3

3. Quail Hollow, zoned R-2 and R-3
4. Forest Green, zoned to R-3

### **Thoroughfare, Emergency and Pedestrian Access**

The access points to the site come from Hopewell Avenue. Future connectivity to the south is contemplated in the concept plan. All interior streets will be public with 53 feet of right-of-way. Snow plowing and trash removal will be provided by the City. Five-foot wide sidewalks will be placed in the subdivision's interior. Sidewalks along Criswell Street will be provided in tandem with future reconstruction of the street. Hopewell Avenue currently has a recreational trail on the north side with anticipation of a sidewalk on the south side.

### **Storm Water Detention**

Storm water detention will be required for the site. The storm water will be piped to the two outlots in the southwest portion of the proposed subdivision.

### **Staff Recommendation**

In addition, analysis provided above, staff finds the zoning amendment adequately addresses all of the following concerns as prescribed in 11-15-13(B) of the Zoning Ordinance:

1. The rezoning conforms to the future land use map in the comprehensive plan, as described in the Preamble and further in subsection A-1-3 of Appendix 1.
2. The amendment is consistent with the goals and objectives of the comprehensive plan.
3. If the responses for both Subsection 11-15-13 B.1. and 11-15-13 B.2. of this section are not affirmative, then either the amendment request recommendation must be denied or the planning and zoning commission and city council must amend the comprehensive plan to provide the required consistency.
4. The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.
5. The potential externalities and applicable performance standards requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.
6. There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.
7. The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.
8. The proposed amendment is in the public interest and not solely in the interests of the applicant.

Staff recommends approval of the rezoning request subject to the following conditions:

1. Approval of the rezoning does not waive any applicable city, state, or federal provisions as required by law.

2. The developer will be responsible for arranging utility connections through adjoining properties. Any utility extension and connection agreements between the City and developer shall be finished prior to the City Council consideration of the final plat for any portion of the proposed rezoning area.
3. The developer submits preliminary and final plats to the Planning and Zoning Commission and City Council and gains approval of those submissions by the City Council.
4. The developer submits a site development plan for the townhome portion of the approved subdivision to the Planning and Zoning Commission and City Council for approval by the City Council.
5. The developer complies with Bettendorf Fire Department requirements prior to the approval of the Final Plat and Site Development Plan by the City Council.
6. Storm water calculations to be provided at time of preliminary plat consideration by City Council.

Respectfully submitted,

Greg Beck  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on rezoning request for property generally located southwest of the corner of Hopewell Avenue and Criswell Street, A-1 to R-3, submitted by Youssi Investments of Iowa, LLC. (Case 22-047)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

4. Case 22-047; Southwest corner of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by Youssi Investments of Iowa, LLC.

Beck reviewed the staff report. Hunt stated that the Forest Green project to the north is very similar to this one, adding that the rezoning of that property was conditional. He commented that a similar approach might be worth discussing with regard to this case.

Wennlund asked what the plans are for the reconstruction of Criswell Street. Morlok explained that a full-depth reclamation project is scheduled for 2024, adding that the construction will have to be coordinated with Scott County as half of the street is located in their jurisdiction.

On motion by Stoltenberg, seconded by Adam, that the rezoning of property located southwest of the intersection of Hopewell Avenue and Criswell Street, A-1 to R-3, be recommended for approval subject to staff recommendations.

Wennlund suggested that the motion be modified to include a condition that any site development plan that is required be materially the same as the concept plan submitted. Stoltenberg agreed.

On motion by Wennlund, seconded by Ormsby, that the motion be amended to add the condition that the development of the property being rezoned is required to be materially the same as the concept plan that was submitted.

ALL AYES

Motion carried.



**MEETING DATE:** August 2, 2022 (SPH)  
August 16, 2022 (HPH)

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution setting a date for public hearing on the rezoning of property generally located northwest of the intersection of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-048) (8/2/22)

Public hearing and first reading of an ordinance rezoning property generally located northwest of the intersection of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-048) (8/16/22)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Our Lady of Lourdes Church and St. John Vianney Church in Bettendorf have submitted a request to rezone property located northwest of the corner of Hopewell Avenue and Criswell Street. The applicants intend to acquire a total of 63.93 acres, more or less. Lot 1 of the proposed Our Lady of Lourdes – St. John Vianney Addition contains 28.8 acres, more or less, and is the only portion of land considered for rezoning (see Zoning Map – Attachment A). The applicant is platting the land and rezoning proposed Lot 1 to R-2, Single-Family Residence District in preparation for the development of a new church and school (see Concept Plan – Attachment B).

The area proposed for development is contemplated in the Bettendorf Future Land Use Map as ULI (see Future Land Use Map – Attachment C). Adjacent areas located to the west and north are also shown as ULI. One portion of land located south of Hopewell Avenue is shown as UMI, Urban Medium Intensity.

Churches and schools are compatible and desirable uses for the current and future neighboring residential development in the area. In addition, the improved road and separated trail transportation amenities on Hopewell Avenue are considered sufficient for the proposed development of a church and school. The proposed development is consistent with Comprehensive Plan Goal F: Promote Recreational and Cultural Opportunities.

The Planning and Zoning Commission made a recommendation for approval of the rezoning request by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Zoning Map; (B) Concept Plan; (C) Future Land Use Map; (D) Staff report to the Planning and Zoning Commission; (E) Planning and Zoning Commission report to the Mayor and City Council; (F) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON THE REZONING OF  
PROPERTY GENERALLY LOCATED NORTHWEST OF THE INTERSECTION  
OF HOPEWELL AVENUE AND CRISWELL STREET  
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT  
TO R-2, SINGLE-FAMILY RESIDENCE DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for August 16, 2022, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of a rezoning of property generally located northwest of the intersection of Hopewell Avenue and Criswell Street from A-1 Agricultural/Urban Reserve District to R-2, Single-Family Residence District and which is legally described as follows:

Part of the Southeast Quarter of Section 1, Township 78 North, Range 4 East of the 5<sup>th</sup> Principal meridian, City of Bettendorf, Scott County, Iowa, more particularly described as follows:

Commencing at the Southwest Corner of said Southeast Quarter; Thence North 02°09'19" West, along the west line of said Southeast Quarter, a distance of 40.00 feet to the north Right of Way line of Hopewell Avenue; Thence continuing North 02°09'19" West, along said west Quarter-Section line, a distance of 1288.31 feet to the southwest corner of Hunting Meadows 1st Addition; Thence North 87°13'07" East, along the south line of said Huntington Meadows 1st Addition and the south line of Huntington Meadows 3rd Addition, a distance of 1188.01 feet to the southeast corner of said 3rd Addition; Thence South 02°09'27" East, along the southerly extension of the east line of said 3rd Addition, a distance of 239.89 feet; Thence North 87°49'51" East, a distance of 613.03 feet to the northwest corner of Parcel "A" according to a survey filed as Doc. No. 2101-00005193, recorded on March 10, 2010 at the Scott County Recorder's Office; Thence South 02°10'01" East, along the west line of said Parcel, a distance of 271.91 feet to the southwest corner of said Parcel; Thence North 87°50'18" East, along the south line of said Parcel, a distance of 852.63 feet to the east line of the Southeast Quarter of said Section and the centerline of Criswell Street; Thence South 02°14'21" East, along said Quarter-Section line, a distance of 715.88 feet; Thence South 87°49'26" West, perpendicular to said Quarter-Section line, a distance of 33.00 feet to the current westerly Right of Way line of said Criswell Street; Thence South 42°29'50" West, continuing along said Right of Way line, a distance 63.94 feet to the north Right of Way line of Hopewell Avenue; Thence South 87°12'52" West, a distance of 2576.94 feet to the Point of Beginning.

The above described real estate contains 64.77 acres, more or less.

For the purpose of this legal description, the west line of the Southeast Quarter of Section 1 has an observed bearing of North 02°09'19" West.

PASSED, APPROVED, AND ADOPTED this \_\_day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**ORDINANCE NO. \_\_\_\_\_ - 22**

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA ZONE MAP FOR  
PROPERTY GENERALLY LOCATED NORTHWEST OF THE INTERSECTION OF  
HOPEWELL AVENUE AND CRISWELL STREET  
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO  
R-2 SINGLE-FAMILY RESIDENCE DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to property generally located northwest of the intersection of Hopewell Avenue and Criswell Street and which is legally described as:

Part of the Southeast Quarter of Section 1, Township 78 North, Range 4 East of the 5th Principal Meridian, City of Bettendorf, Scott County, Iowa, more particularly described as follows:

Commencing at the Southwest Corner of said Southeast Quarter; Thence North 02°09'19" West, along the west line of said Southeast Quarter, a distance of 40.00 feet to the north Right of Way line of Hopewell Avenue; Thence continuing North 02°09'19" West, along said west Quarter-Section line, a distance of 1288.31 feet to the southwest corner of Hunting Meadows 1st Addition; Thence North 87°13'07" East, along the south line of said Huntington Meadows 1st Addition and the south line of Huntington Meadows 3rd Addition, a distance of 1188.01 feet to the southeast corner of said 3rd Addition; Thence South 02°09'27" East, along the southerly extension of the east line of said 3rd Addition, a distance of 239.89 feet; Thence North 87°49'51" East, a distance of 613.03 feet to the northwest corner of Parcel "A" according to a survey filed as Doc. No. 2101-00005193, recorded on March 10, 2010 at the Scott County Recorder's Office; Thence South 02°10'01" East, along the west line of said Parcel, a distance of 271.91 feet to the southwest corner of said Parcel; Thence North 87°50'18" East, along the south line of said Parcel, a distance of 852.63 feet to the east line of the Southeast Quarter of said Section and the centerline of Criswell Street; Thence South 02°14'21" East, along said Quarter-Section line, a distance of 715.88 feet; Thence South 87°49'26" West, perpendicular to said Quarter-Section line, a distance of 33.00 feet to the current westerly Right of Way line of said Criswell Street; Thence South 42°29'50" West, continuing along said Right of Way

line, a distance 63.94 feet to the north Right of Way line of Hopewell Avenue; Thence South 87°12'52" West, a distance of 2576.94 feet to the Point of Beginning.

The above described real estate contains 64.77 acres, more or less.

For the purpose of this legal description, the west line of the Southeast Quarter of Section 1 has an observed bearing of North 02°09'19" West,

and which is now zoned A-1 Agricultural/Urban Reserve District is hereby repealed and said described land shall hereinafter be zoned R-2 Single-Family Residence District and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

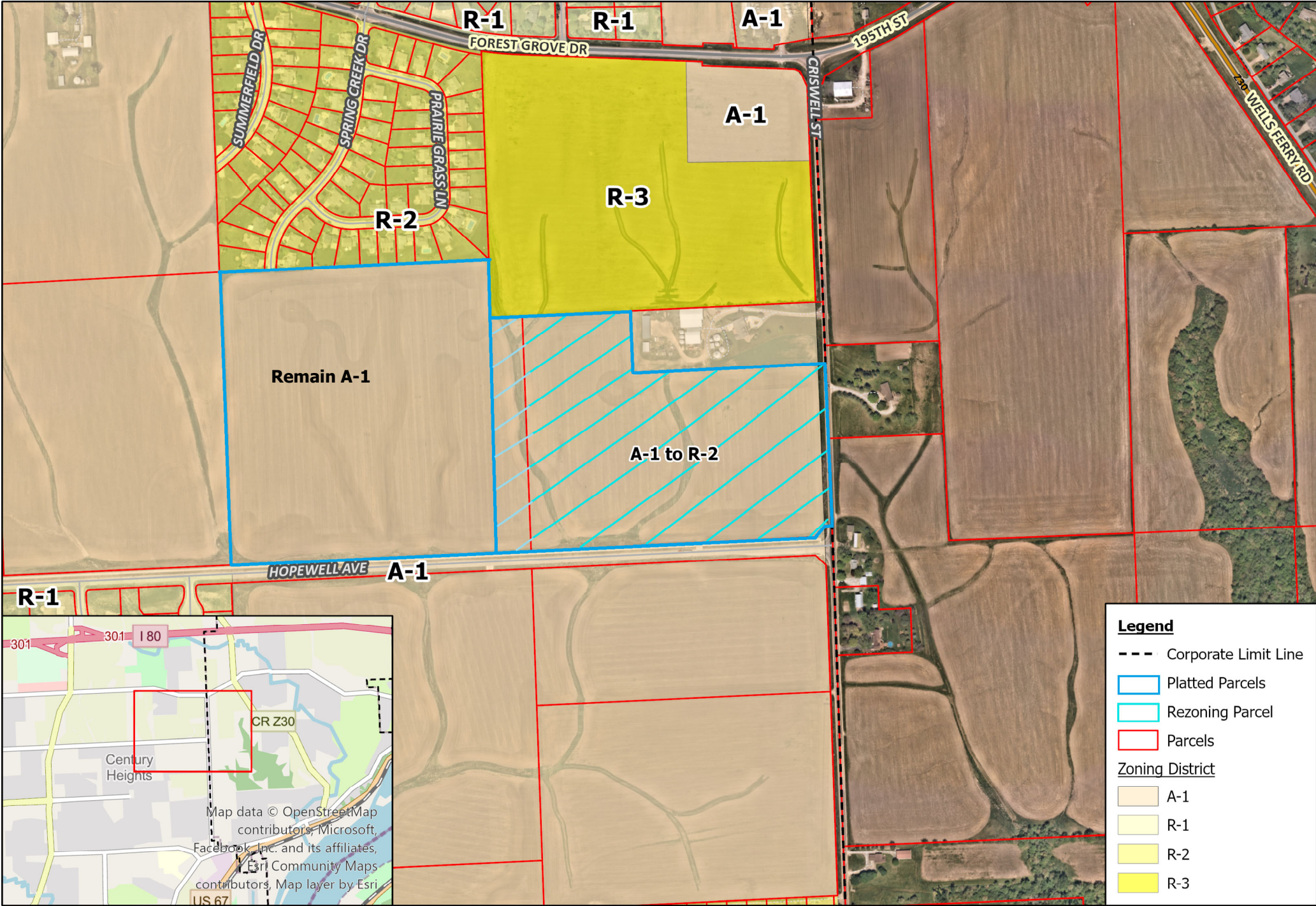
Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



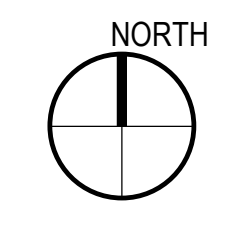
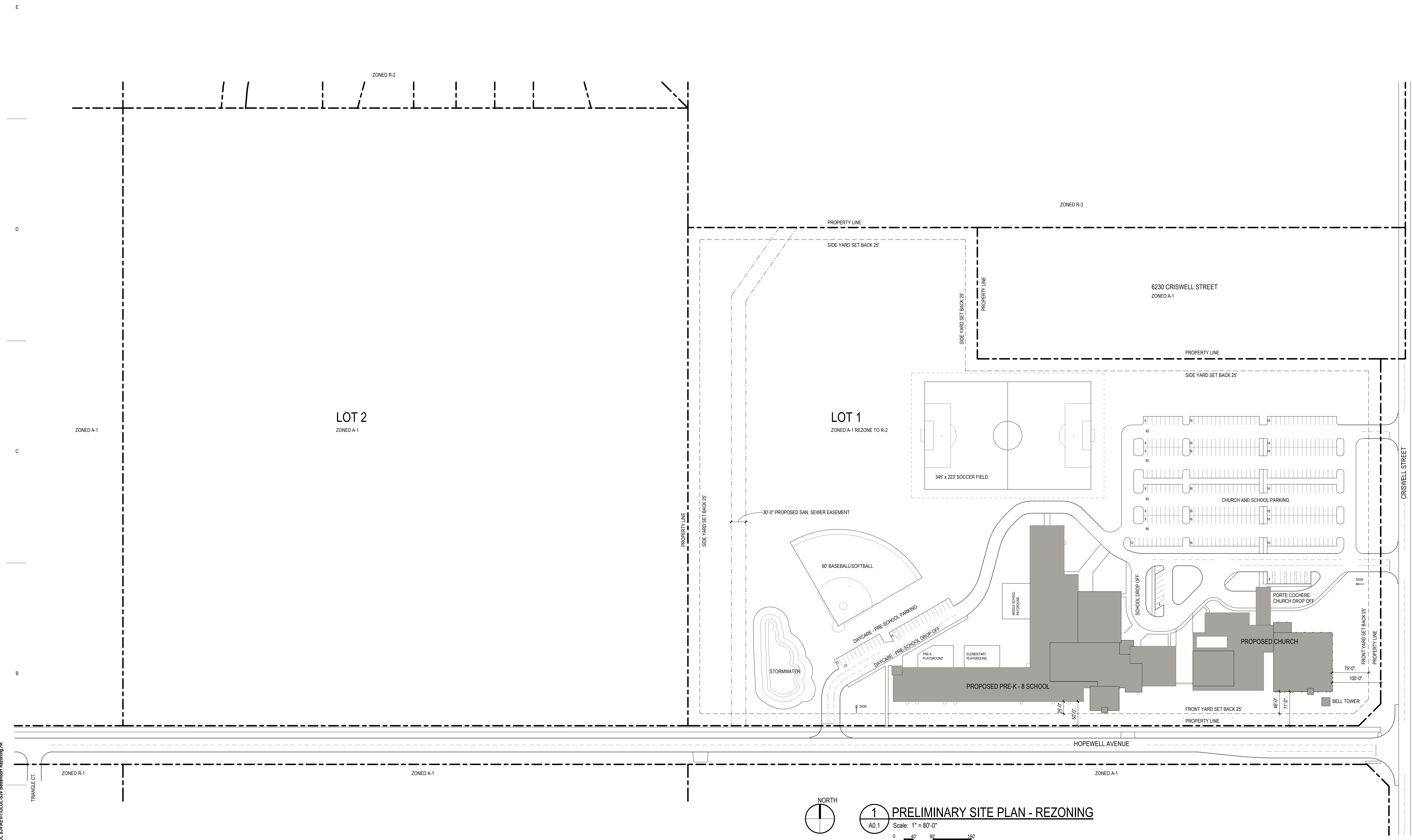
**Legend**

- Corporate Limit Line
- ▭ Platted Parcels
- ▭ Rezoning Parcel
- ▭ Parcels

**Zoning District**

- ▭ A-1
- ▭ R-1
- ▭ R-2
- ▭ R-3

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri US 67



**1 PRELIMINARY SITE PLAN - REZONING**  
A0.1

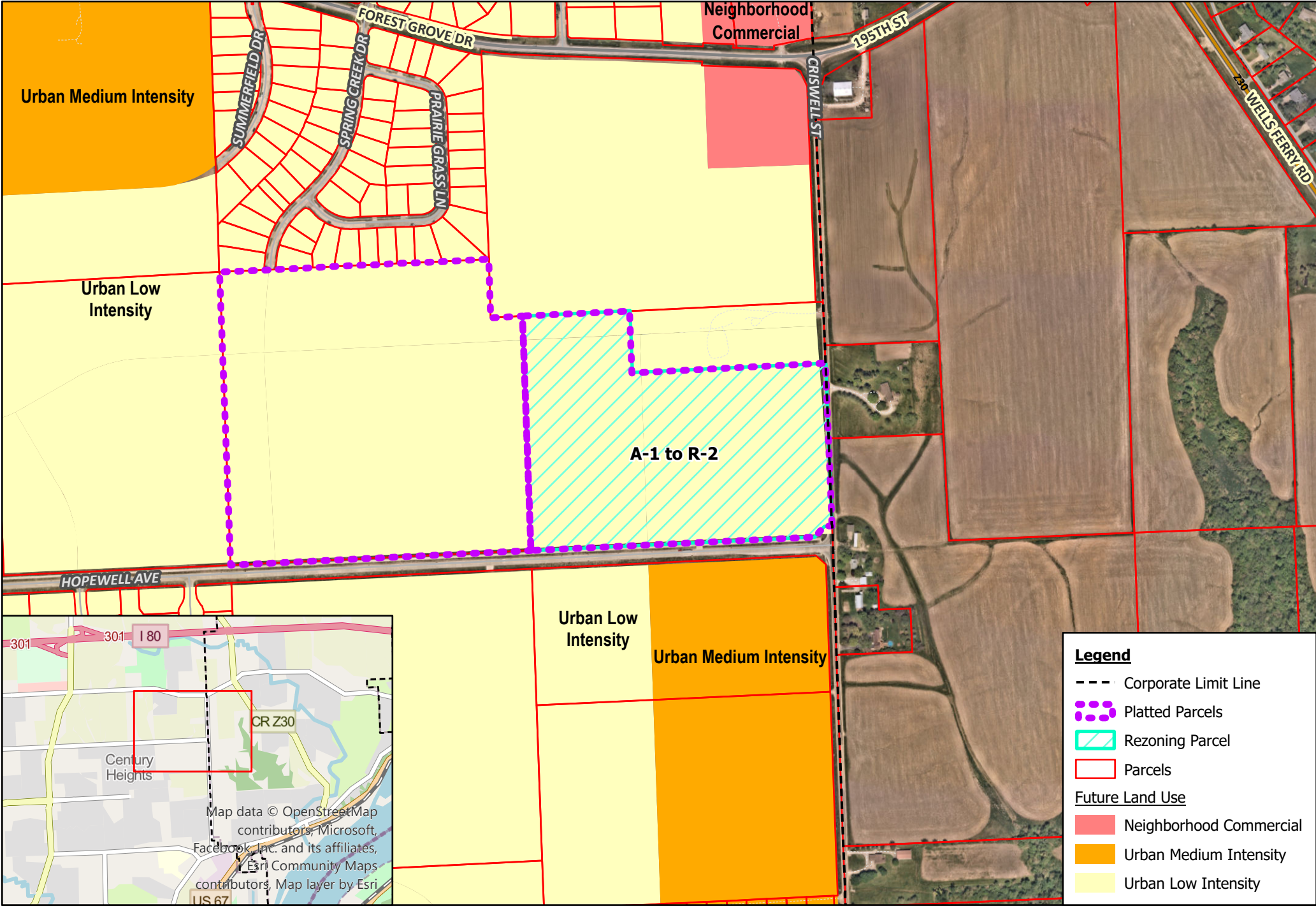
Scale: 1" = 80'-0"  
0 40' 80' 160'

OUR LADY OF LOURDES - ST. JOHN VIANNEY ADDITION TO THE CITY OF BETTENDORF  
LOT 1: REQUESTED REZONING FROM A-1 TO R-2  
LOT 2 TO REMAIN A-1 ZONING

TOTAL PARKING SHOWN: 372 SPACES  
TOTAL ACCESSIBLE PARKING, INCLUDED IN TOTAL ABOVE: 12

NOT A SURVEY - FOR ILLUSTRATION ONLY

M:\Proposals & Interviews\2022\1. January - March\Bettendorf Catholic Schools 04.01.S\REV\T04.01.S\J. Bettendorf Rezoning.rvt  
6/27/2022 9:49:22 AM



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri US 67



**COMMUNITY DEVELOPMENT**

City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4079

July 20, 2022 Bettendorf Planning & Zoning Commission Meeting

Staff Report

**Case No. 22-048**

**Request:** Rezoning: A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District

**Location:** Northwest corner of the intersection of Hopewell Avenue and Criswell Street

**Legal Description:** Part of the SE ¼ of Section 1, Township 78 North, Range 4 East of the Principal Meridian, Bettendorf, Iowa (Parcel #: [840155004 and 840153002](#))

**Applicant:** Our Lady of Lourdes Church and St. John Vianney Church

**Current Zoning:** A-1, Agricultural/Urban Reserve District

**Future Land Use:** ULI, Urban Low Intensity

**Background Information and Facts**

Our Lady of Lourdes Church and St. John Vianney Church in Bettendorf have submitted a request to rezone property located northwest of the corner of Hopewell Avenue and Criswell Street (see Aerial Map – Attachment A). The applicants intend to acquire a total of 63.93 acres, more or less. Lot 1 of the proposed Our Lady of Lourdes – St. John Vianney Addition contains 28.8 acres, more or less, and is the only portion of land considered for rezoning (see Proposed Zoning – Attachment B). The applicant is platting the land and rezoning proposed Lot 1 to R-2, Single-Family Residence District in preparation for the development of a new church and school (see Concept Plan – Attachment C).

**Future Land Use and Comprehensive Plan**

The area proposed for development is contemplated in the Bettendorf Future Land Use Map as ULI (see Future Land Use Map – Attachment D). Adjacent areas located to the west and north are also shown as ULI. One portion of land located south of Hopewell Avenue is shown as UMI, Urban Medium Intensity.

Churches and schools are compatible and desirable uses for the current and future neighboring residential development in the area. In addition, the improved road and

separated trail transportation amenities on Hopewell Avenue are considered sufficient for the proposed development of a church and school. The proposed development is consistent with Comprehensive Plan Goal F: Promote Recreational and Cultural Opportunities.

### **Lot Configuration and Zoning Compliance**

Lot 1 of the proposed Our Lady of Lourdes – St. John Vianney Addition is a developable lot and meets the proposed R-2 zoning district’s bulk standard requirements. Religious assemblies and primary education are permitted uses in the R-2 Zoning District. Lot 2 will remain A-1, and the agricultural use is proposed to continue there at this time. A 5.1-acre farmstead located north of the proposed subdivision will remain and continue to have agricultural-related uses on the site. This farmstead was subdivided from the farmland previously.

### **Utilities**

Water service will be provided by Iowa American to all developments in the subdivision. City sewer connections will also be made to all developments. A 30-foot sanitary sewer easement is shown transecting Lot 1. This easement will provide sewer access to developments located north of this subdivision.

### **Thoroughfare Plan & Access**

No public streets are being proposed in the concept plan. Future development on Lot 1 will have access via Hopewell Avenue or Criswell Street. Lot 2 can be accessed for agricultural use via Hopewell Avenue. The concept plan shows a 17-foot right-of-way dedication on Criswell Street.

The concept plan will likely evolve prior to the site development stage, but currently shows a church on the northwest corner of Hopewell Avenue and Criswell Street, a Pre-K through 8<sup>th</sup> grade school, a baseball/softball field, a soccer field, and a combined church and school parking lot.

A separated trail existing along the north side of Hopewell Avenue. No sidewalk or trail exists along Criswell Street at this time.

### **Storm Water Detention**

Any proposed development on the site will require onsite storm water detention. The concept plan shows a detention pond near the entrance to Hopewell Avenue. All storm

water calculations and requirements will be reviewed at the site development plan stage for any future development.

**Staff Recommendation**

In addition to the noted analysis contained in the staff report, staff finds the zoning amendment adequately addresses all of the following concerns as prescribed in 11-15-13(B) of the Zoning Ordinance:

1. The rezoning conforms to the future land use map in the comprehensive plan, as described in the Preamble and further in subsection A-1-3 of Appendix 1.
2. The amendment is consistent with the goals and objectives of the comprehensive plan.
3. If the responses for both Subsection 11-15-13 B.1. and 11-15-13 B.2. of this section are not affirmative, then either the amendment request recommendation must be denied or the planning and zoning commission and city council must amend the comprehensive plan to provide the required consistency.
4. The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.
5. The potential externalities and applicable performance standards requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.
6. There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.
7. The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.
8. The proposed amendment is in the public interest and not solely in the interests of the applicant.

Staff recommends approval of the rezoning request.

Respectfully submitted,

Taylor Beswick  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on rezoning request for property generally located northwest of the corner of Hopewell Avenue and Criswell Street, A-1 to R-2, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-048)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

6. Case 22-048; Northwest corner of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Our Lady of Lourdes Church and St. John Vianney Church.

Beswick reviewed the staff report.

Paul Ven Horst, 18921 Criswell Street, asked if there would be a retention pond on the property. Wennlund stated that it would be located on the southwest corner of the lot. Beswick added that the plan shown is a concept only and that a site development plan will be required which will include engineering plans and storm water calculations and will show the final locations of the buildings, parking lots, and detention basin locations based on the topography of the site. He stated that sanitary sewer would be installed running north-south on the west side of Lot 1. Ven Horst asked if the previous plan to extend the sewer along Hopewell Avenue to Criswell Street and then run it north had changed. Beswick confirmed this.

On motion by Ormsby, seconded by Gibson, that the request to rezone property located northwest of the corner of Hopewell Avenue and Criswell Street, A-1 to R-2, be recommended for approval subject to staff recommendations.

ROLL CALL ON MOTION

AYE:	Gibson, Ormsby, Stoltenberg, Wennlund
NAY:	None
ABSTAIN:	Adam

Motion carried.



**MEETING DATE:** August 2, 2022 (SPH)  
August 16, 2022 (HPH)

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution setting a date for public hearing on the rezoning of 3618 Middle Road (Lot 5, Victor Archer’s Addition), A-1 Agricultural/Urban Reserve District to C-2 Community Commercial District, submitted by Emery Construction Group, Inc./Jack Laud. (Case 22-050) (8/2/22)

Public hearing and first reading of an ordinance rezoning 3618 Middle Road (Lot 5, Victor Archer’s Addition), A-1 Agricultural/Urban Reserve District to C-2 Community Commercial District, submitted by Emery Construction Group, Inc./Jack Laud. (Case 22-050) (8/16/22)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Emery Construction Group, Inc./Jack Laud has submitted an application for the rezoning of 3618 Middle Road (see Zoning Aerial - Attachment A). This parcel is a remnant from a larger surrounding area that was originally zoned A-2 and is currently in residential use. The petitioner is requesting a rezoning from A-2 to C-2. The future land use designation for this site is Community Commercial (see Future Land Use Aerial - Attachment B). A laundromat is proposed for this location (see Concept Plan - Attachment C). The site development plan that was approved for Dunkin’ which is adjacent to the lot in question includes a condition for shared access (see Site Development Plan and Resolution - Attachments D and E). The building will have an exterior treatment of split-faced brick and stone (see Floor Plan and Elevations - Attachment F).

The proposed C-2 zoning district is allowed under the Community Commercial Future Land Use designation. Additionally, Laundry Services are a permitted use in the C-2 zoning district. Adjacent zoning is C-2 to the east and west. An A-2 parcel exists immediately to the north and an A-1, Agricultural Urban Reserve District is located south across Middle Road. This proposal aligns with the Comprehensive Plan Goal C: Attract and Retain Business and Industry, by bringing a new commercial service to the area.

The Planning and Zoning Commission made a recommendation for approval of the rezoning request by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Zoning Aerial; (B) Future Land Use Aerial; (C) Concept Plan; (D) Site Development Plan; (E) Resolution; (F) Floor Plan and Elevations; (G) Staff report to the Planning and Zoning Commission; (H) Planning and Zoning Commission report to the Mayor and City Council; (I) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION NO. \_\_\_\_ - 22**

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING ON THE REZONING OF  
3618 MIDDLE ROAD  
LOT 5, VICTOR ARCHER'S ADDITION  
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT  
TO C-2 COMMUNITY COMMERCIAL DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for August 16, 2022, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of a rezoning of 3618 Middle Road (Lot 5, Victor Archer's Addition) from A-1 Agricultural/Urban Reserve District to C-2 Community Commercial District.

PASSED, APPROVED, AND ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

ORDINANCE NO. \_\_\_\_\_ - 22

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA ZONE MAP FOR  
3618 MIDDLE ROAD  
LOT 5, VICTOR ARCHER'S ADDITION  
A-1 AGRICULTURAL/URBAN RESERVE DISTRICT TO  
C-2 COMMUNITY COMMERCIAL DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to 3618 Middle Road (Lot 5, Victor Archer's Addition),

and which is now zoned A-1 Agricultural/Urban Reserve District is hereby repealed and said described land shall hereinafter be zoned C-2 Community Commercial District and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

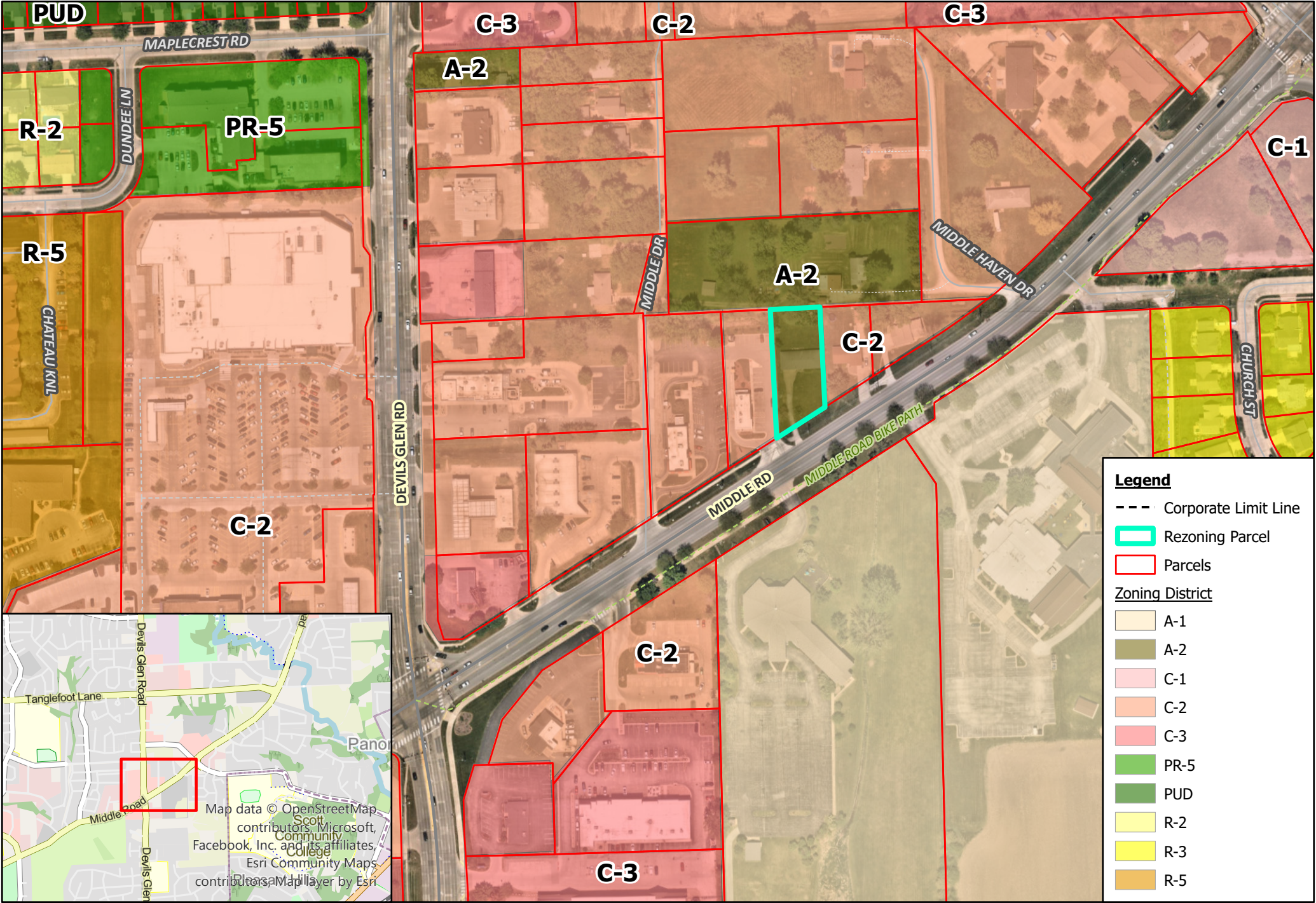
PASSED, APPROVED, AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

**Case 22-050: 3618 Middle Road  
Rezoning: A-2 to C-2  
Current Zoning**

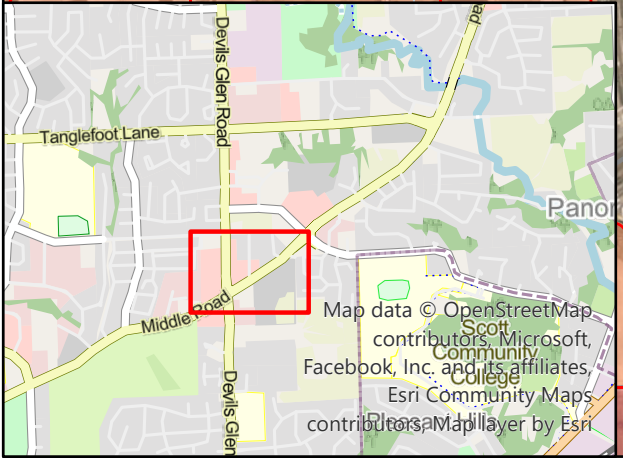


**Legend**

- - - Corporate Limit Line
- Rezoning Parcel
- Parcels

**Zoning District**

- A-1
- A-2
- C-1
- C-2
- C-3
- PR-5
- PUD
- R-2
- R-3
- R-5

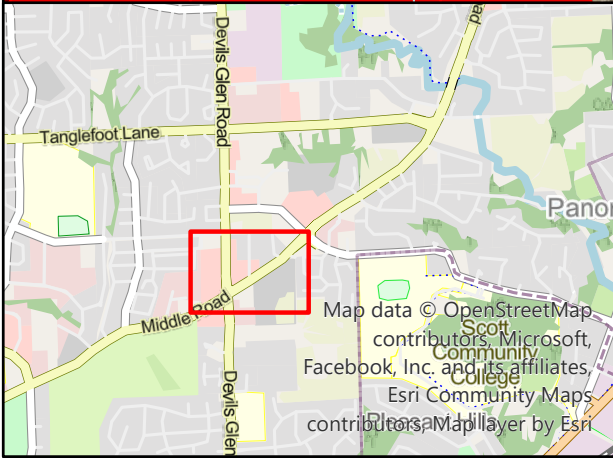
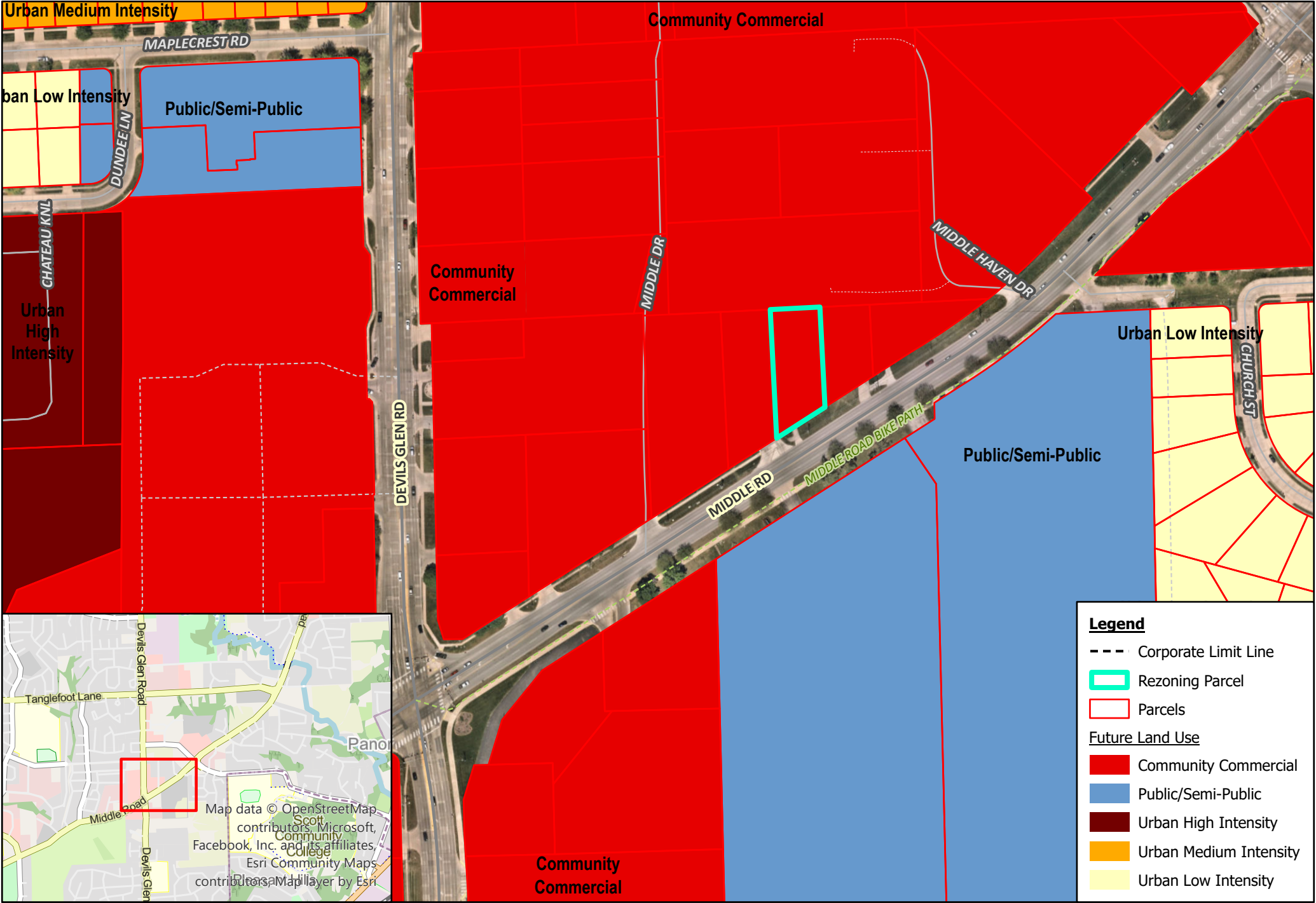


# Case 22-050: 3618 Middle Road Rezoning: A-2 to C-2 Future Land Use

1 Inch = 221 Feet



N



**Legend**

- - - Corporate Limit Line
- Rezoning Parcel
- Parcels

**Future Land Use**

- Community Commercial
- Public/Semi-Public
- Urban High Intensity
- Urban Medium Intensity
- Urban Low Intensity

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Mapillary by Esri

**Community Commercial**

**Urban Low Intensity**

**Public/Semi-Public**

**Community Commercial**

**Community Commercial**

**Urban Medium Intensity**

**Urban Low Intensity**

**Urban High Intensity**

**Public/Semi-Public**

MAPLECREST RD

DUNDEE LN

CHATEAU KNL

DEVILS GLEN RD

MIDDLE DR

MIDDLE HAVEN DR

MIDDLE RD

MIDDLE ROAD BIKE PATH

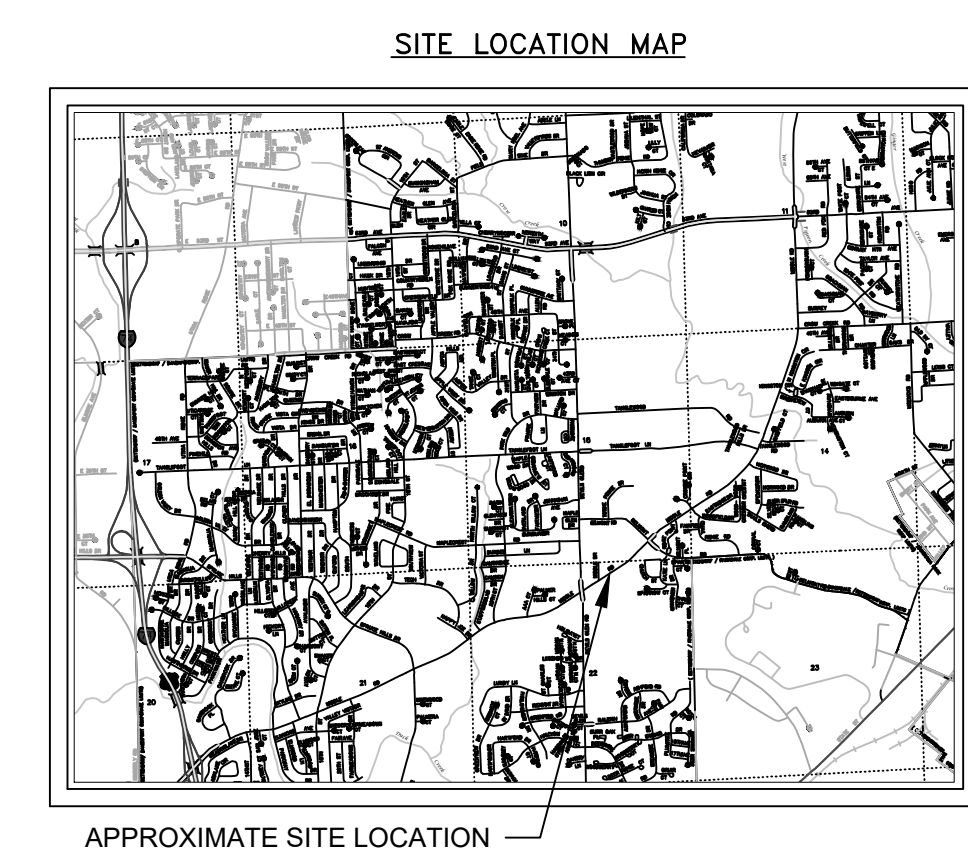
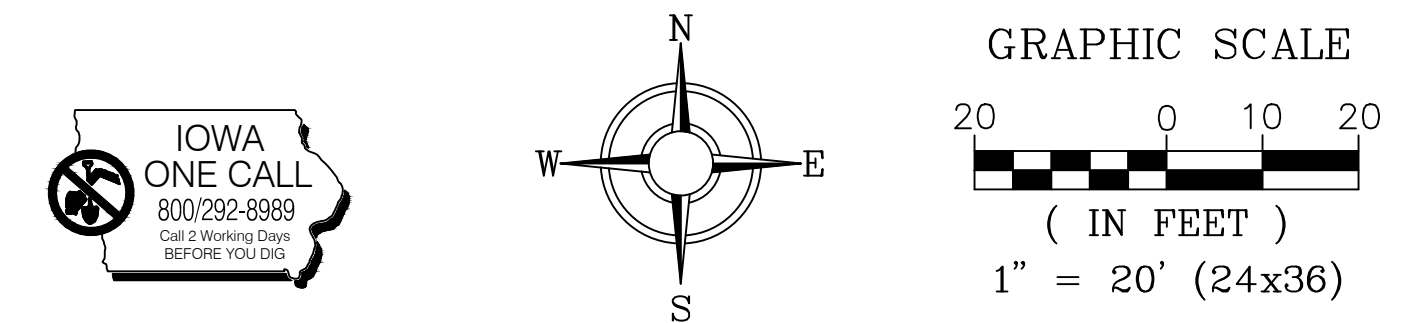
CHURCHST

Pano

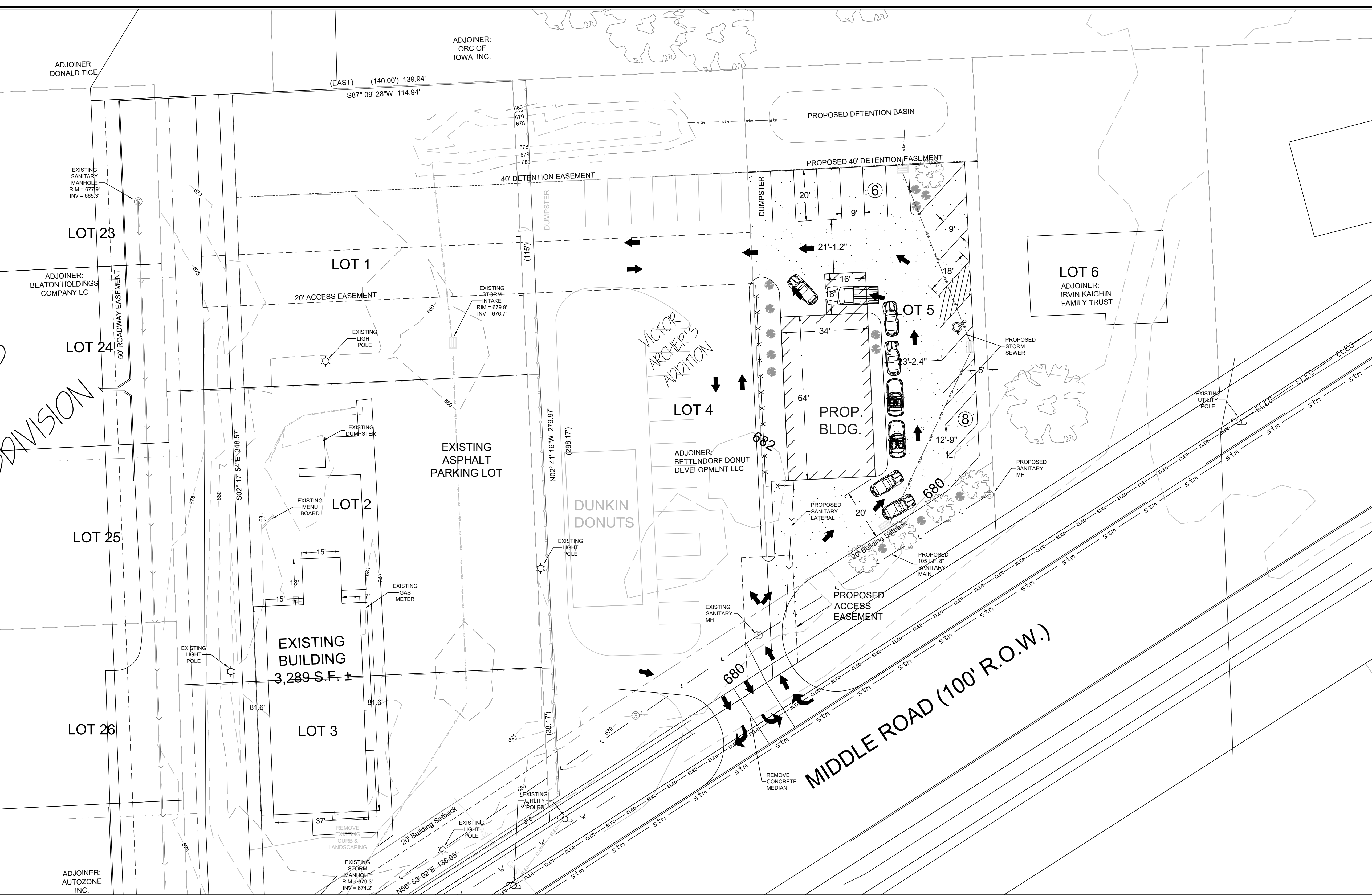
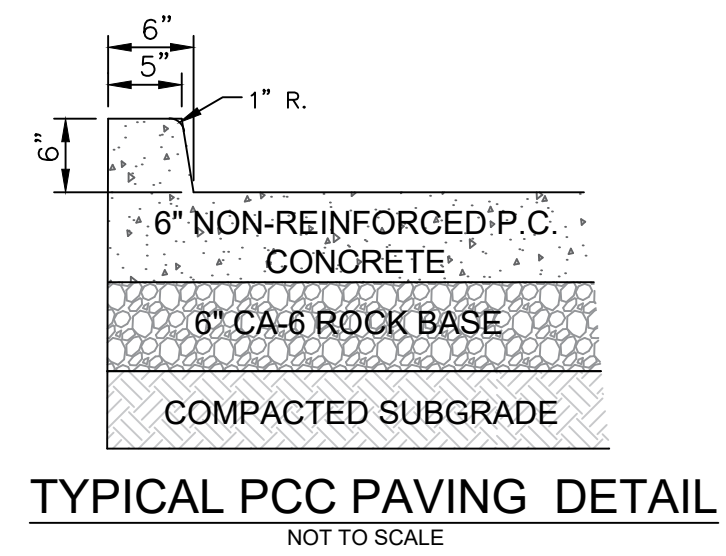
Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Mapillary by Esri

# PROPOSED MIDDLE ROAD LAUNDRY

TO THE CITY OF BETTENDORF, IA



- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
  - LEGAL DESCRIPTION OF PROPERTY: LOT 5 OF VICTOR ARCHER'S ADDITION, A SUBDIVISION OF PART OF THE NORTHEAST SECTION QUARTER OF SECTION 22, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN TO THE CITY OF DAVENPORT, SCOTT COUNTY, IOWA.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
  - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
  - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
  - CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF BETTENDORF STANDARDS AND SPECIFICATIONS.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
  - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.



**CURRENT ZONING**  
A-2 Rural Residence District

**PROPOSED ZONING:**  
C-2 Community Commercial District

**SETBACKS:**  
Front: 25'  
Side: 10' w/ Sum Not Less Than 25'  
Rear: None

**PARKING:**  
Coin or Token Operated Laundry Establishment  
One Space for Every Two Machines  
27 Machines  
14 Spaces Provided

LEGEND:		



DATE: 3/11/2022  
563 386.4236 office 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

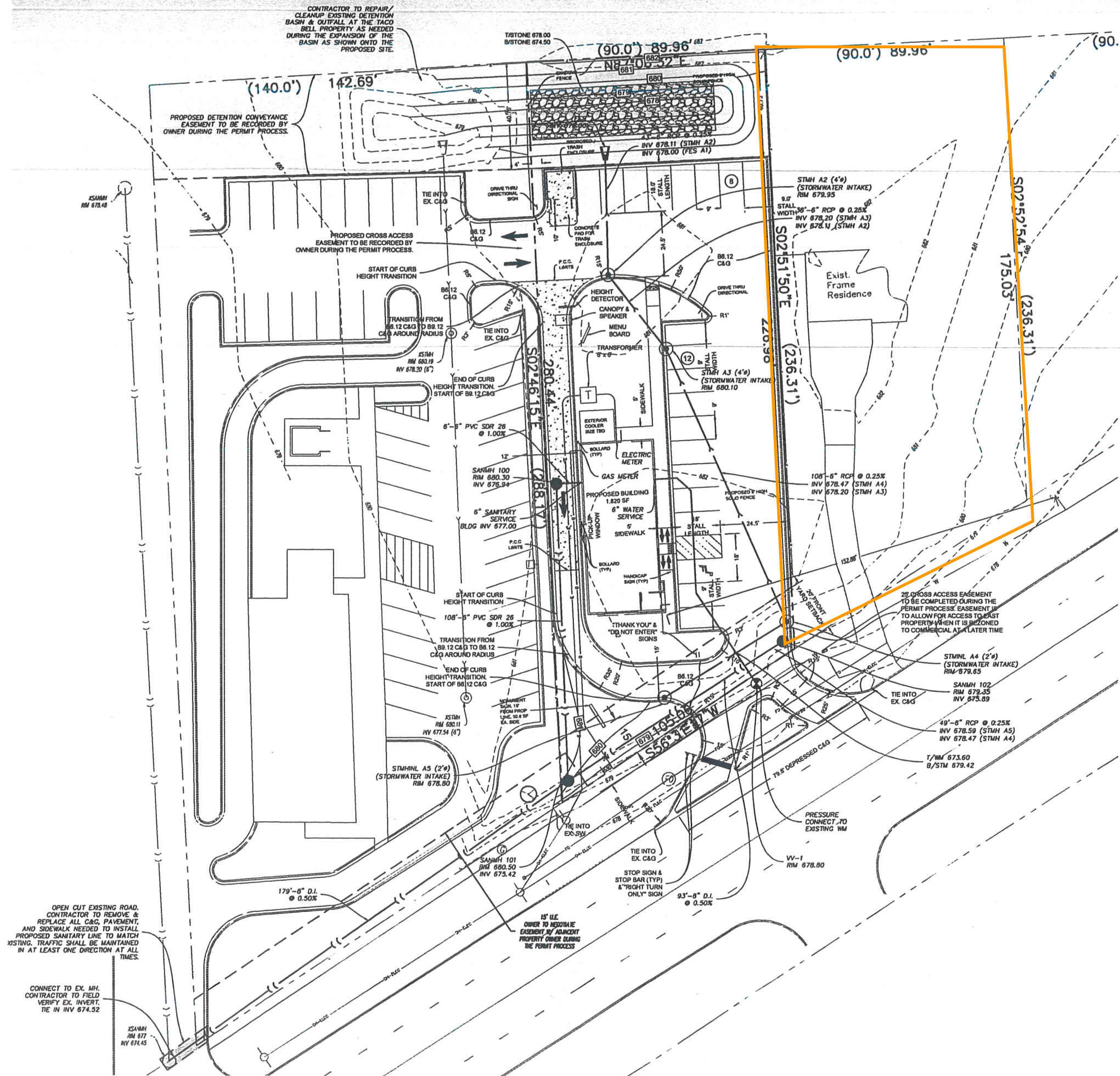
DRAWN BY: TAS  
CHECKED BY: CRT  
DRAWING LOCATION: S:\EMERY\MIDDLEROAD\SITE PLAN.DWG

NO.	REVISIONS: DESCRIPTION	DATE

**PROJECT**  
SITE PLAN  
3618 MIDDLE ROAD  
BETTENDORF, IOWA 52722

**DEVELOPER**  
EMERY CONSTRUCTION GROUP  
2303 46th STREET  
MOLINE, IL 61265

**SHEET NO.**  
C1

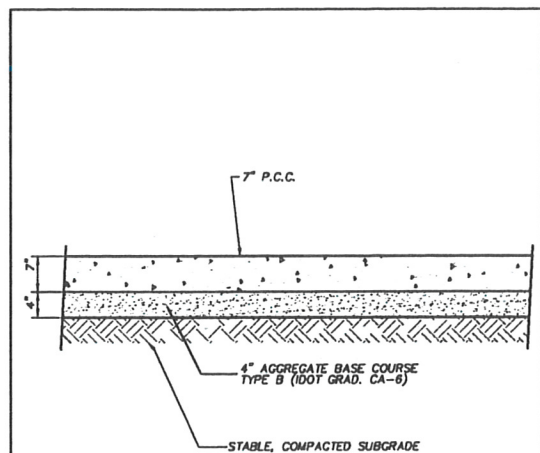


LEGEND

	PROPOSED	EXISTING
STORM SEWER		
SANITARY SEWER		
WATERMAIN		
ELECTRIC		
TELEPHONE		
GAS		
STORM MANHOLE		
FLARED END SECTION		
SANITARY MANHOLE		
VALVE VAULT / B-BOX		
FIRE HYDRANT		
LIGHT POLES		
TRANSFORMER		

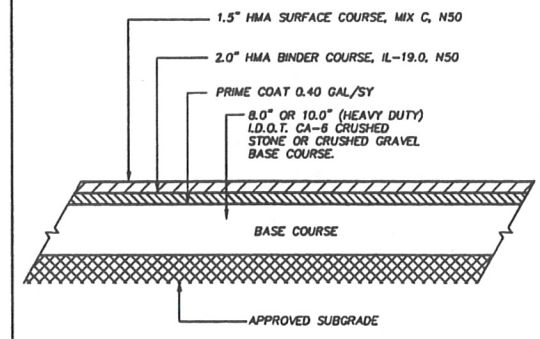
UTILITY NOTES

- ALL WATERMAIN SHALL BE CLASS 52 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED. FITTINGS SHALL MEET ASTM C110 OR C153. VALVE SHALL MEET ASTM C208-87.
- ALL STORM SEWER PIPE SHALL MEET ROOT SPECIFICATIONS (ART. 550.03) FOR SELECTING THE PIPE CLASS. STORM PIPE MUST MEET ASTM C76 STANDARDS.
- PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VAULTS SHALL MEET ASTM C478.
- EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
- NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES SHALL HAVE BILET FILTERS INSTALLED. ALL BILET PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
- GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
- ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR ABANDONED AS NECESSARY. ALL DRAIN TILE ENTERING SITE SHALL BE TIED INTO PROPOSED STORM LINE OR REDIRECTED TO MAINTAIN EXISTING DRAINAGE PATTERNS. IN PLACES WHEREBY THE PROPOSED WATERMAIN AND EXISTING ACTIVE GRANULE CROSS, THE WATERMAIN SHALL BE INSTALLED WITH CISING 10 FEET ON OTHER SIDE OF CROSSING.
- SANITARY PLUGS WILL BE REQUIRED DURING CONSTRUCTION AT ALL EXISTING MANHOLES WHERE PROPOSED CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH PROPOSED SANITARY LINE.
- CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- ALL STORM STRUCTURES LOCATED IN AND ALONG ALL 8.12 CURB AND CUTTER SHALL HAVE CURB FRAME AND GRATES.
- ALL ROOF DOWNSPOUTS MUST BE DIRECTLY INTO THE STORM SEWER SYSTEM. NO OVERLAND DRAINAGE WILL BE PERMITTED FOR THE ROOF DRAINS.
- FRAME AND GRATE REQUIREMENTS:  
 STORM STRUCTURE (PAVEMENT) - MEDIAN R-1557 FRAME, R-2557 TYPE G GRATE  
 STORM STRUCTURE (CURB) - MEDIAN R-1557 FRAME, R-2557 TYPE G GRATE  
 STORM STRUCTURE (GRASS) - MEDIAN R-1557 FRAME, R-2557 TYPE G GRATE  
 SANITARY STRUCTURE - MEDIAN R-1557 WITH SOLID LD EXCEPTS TO ABOVE ARE NOTED ON PLANS.



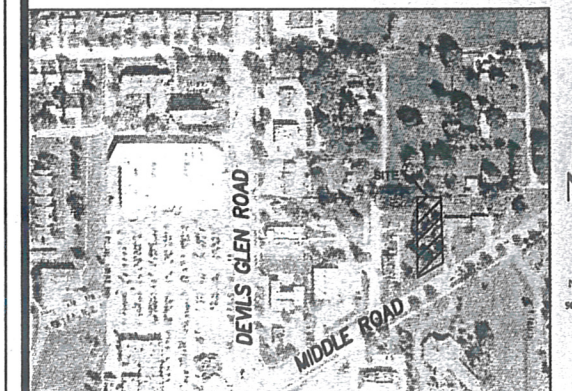
1 CONCRETE PAVEMENT  
C7.2 NOT TO SCALE

FILE:PV-CONCRETE.PAD.DWG



2 DETAIL - PAVEMENT SECTION

LOCATION MAP



NOT TO SCALE

RESOLUTION NO. \_\_\_\_\_ - 18

RESOLUTION APPROVING A SITE DEVELOPMENT PLAN FOR  
3592 MIDDLE RD  
(LOT 4, VICTOR ARCHER'S ADDITION)

WHEREAS, ECA Architects, Inc, has submitted a site development plan for 3592 Middle Road (Lot 4, Victor Archer's Addition), and

WHEREAS, the staff and Planning and Zoning Commission have reviewed said site development plan and recommended approval of it subject to conditions presented below, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the site development plan for 3592 Middle Road (Lot 4, Victor Archer's Addition) subject to the following conditions:

1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. City Engineer must approve water quality and storm water detention design prior to City Council approval of the site development plan.
3. A storm water easement is required to be placed on Lot 1 and Lot 4, Victor Archer's Addition to facilitate the sharing of the storm water detention facility. This easement must be recorded prior to the issuance of building permits.
4. The right-in/right-out island will be removed south of Lot 4, Victor Archer's Addition ONLY when full access is granted to Lot 5, Victor Archer's First Addition by easement. The shared access easement would be required to meet City standards for emergency vehicles. The easement must be recorded at the Scott County Recorder's Office.
5. Easement for sanitary sewer to be 15 feet wide and acquired by the developer from the owner of Lot 3, Victor Archer's Addition prior to the issuance of any building permits. Proof of easement acquisition must be presented to the Building Department.

PASSED, APPROVED, AND ADOPTED THIS 17<sup>th</sup> day of July, 2018.

---

Robert Gallagher, Mayor

ATTEST:

---

Decker P. Ploehn, City Clerk

CONTRACTOR AND OR OWNER:

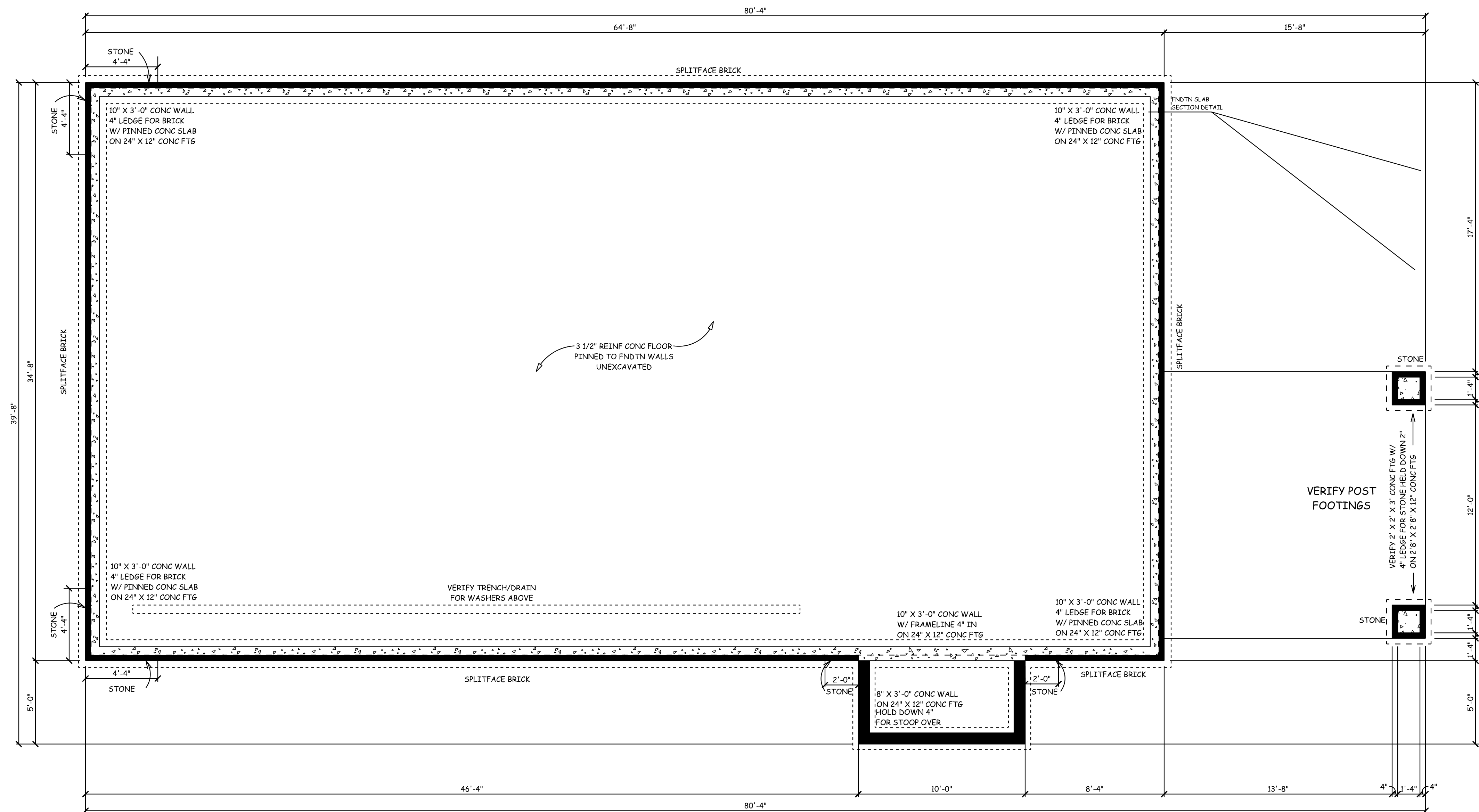
ELDRIDGE LUMBERYARD INC. HAS MADE EVERY ATTEMPT TO PRODUCE THIS PLAN WITH ERROR FREE DIMENSIONS, CORRECT ENGINEERING AND CONSTRUCTION STANDARDS THAT APPLY TO THE QUAD CITY AREA. HOWEVER, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DRAWINGS AND DIMENSIONS WITH THE SUBCONTRACTORS AND OWNERS.

DUE TO THE MANY DIFFERENT AREA BUILDING DEPARTMENTS AND BUILDING CODE INTERPRETATIONS, WE FIND IT NECESSARY FOR THE CONTRACTOR AND OR OWNER TO BE COMPLIANT WITH LOCAL BUILDING CODES WHERE THE PROJECT IS TO BE BUILT.

ALL FLOOR AND ROOF LOAD REQUIREMENTS HAVE BEEN CALCULATED ACCORDING TO LOCAL BUILDING CODES. FLOOR JOIST SPAN TABLES FOR 40# LIVE AND 15# DEAD ROOF TRUSS AND CONVENTIONAL ROOF FRAMING HAVE BEEN CALCULATED FOR 30# LIVE AND 20# DEAD LOAD. TJI TABLES OF 480/L ARE USED FOR SPAN LIMITATION.

SOME, BUT NOT ALL RESTRICTIONS THAT NEED TO BE VERIFIED WITH LOCAL BUILDING DEPARTMENTS ARE LISTED BELOW. PLEASE VERIFY BEFORE ORDERING PRODUCTS.

- A. BASEMENT EGRESS REQUIREMENTS
- B. ANY AND ALL FIRE CODE REQUIREMENTS
- C. SCUTTLE ACCESS REQUIREMENTS
- D. DEAD BOLT LOCKS
- E. TEMPERED GLASS REQUIREMENTS
- F. SOIL BEARING TEST AND COMPACTION REQUIREMENTS
- G. SITE PREPARATION FOR FROST WALLS AND GRADE
- H. ENERGY AND INSULATION REQUIREMENTS
- I. GARAGE FOUNDATION WALL THICKNESS AND FOOTING SIZE WITH BRICK VENEER.

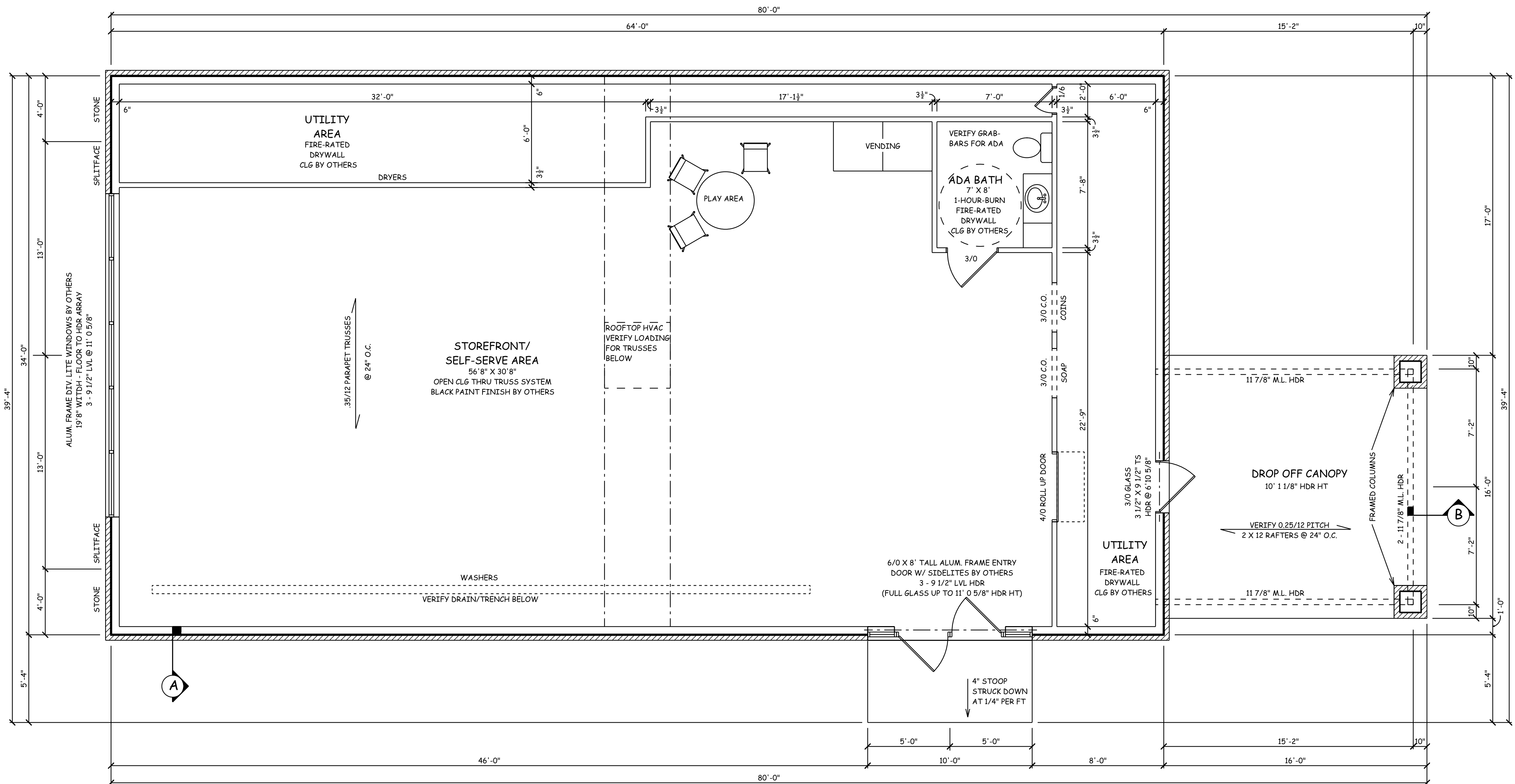


**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

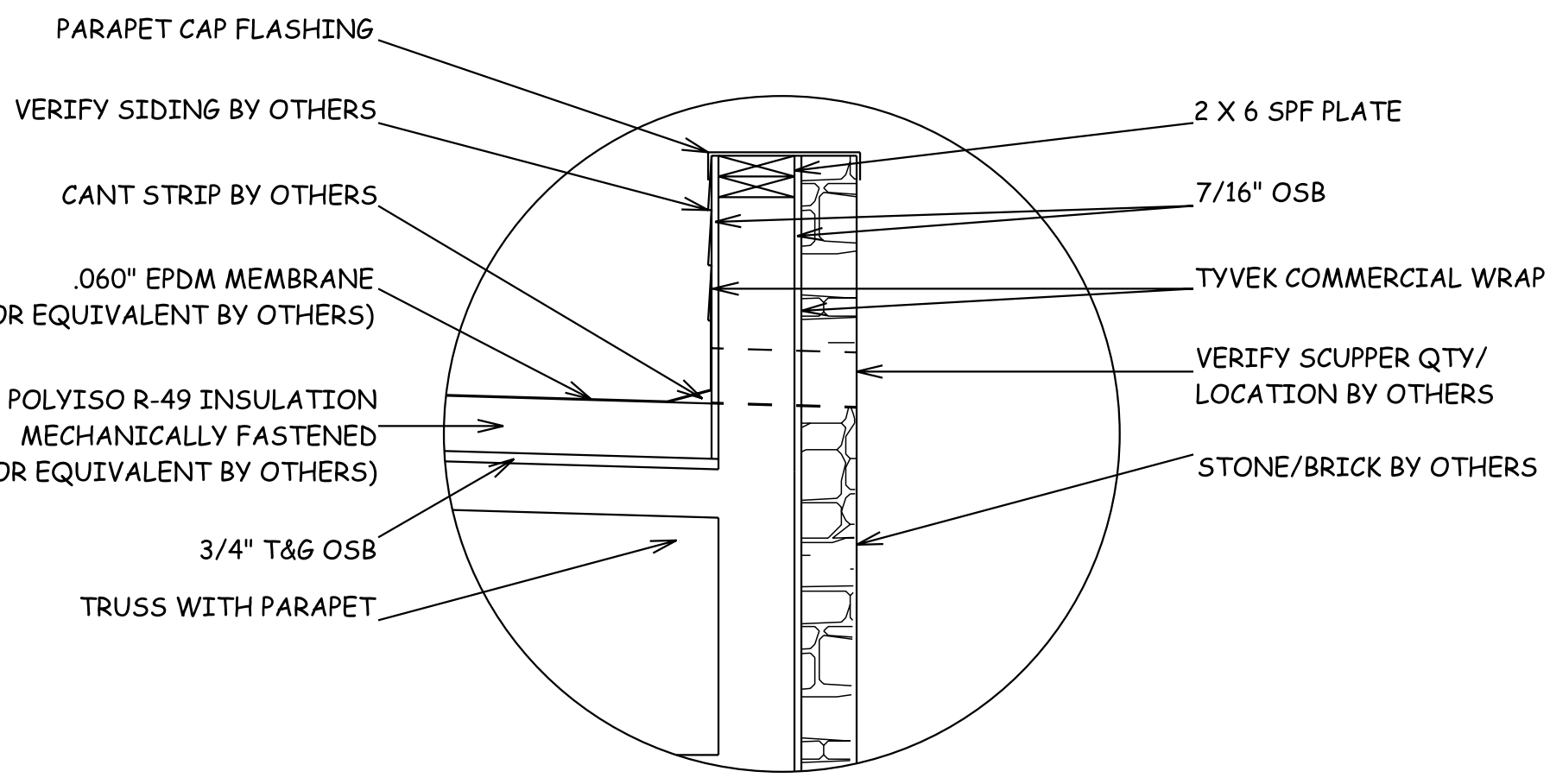
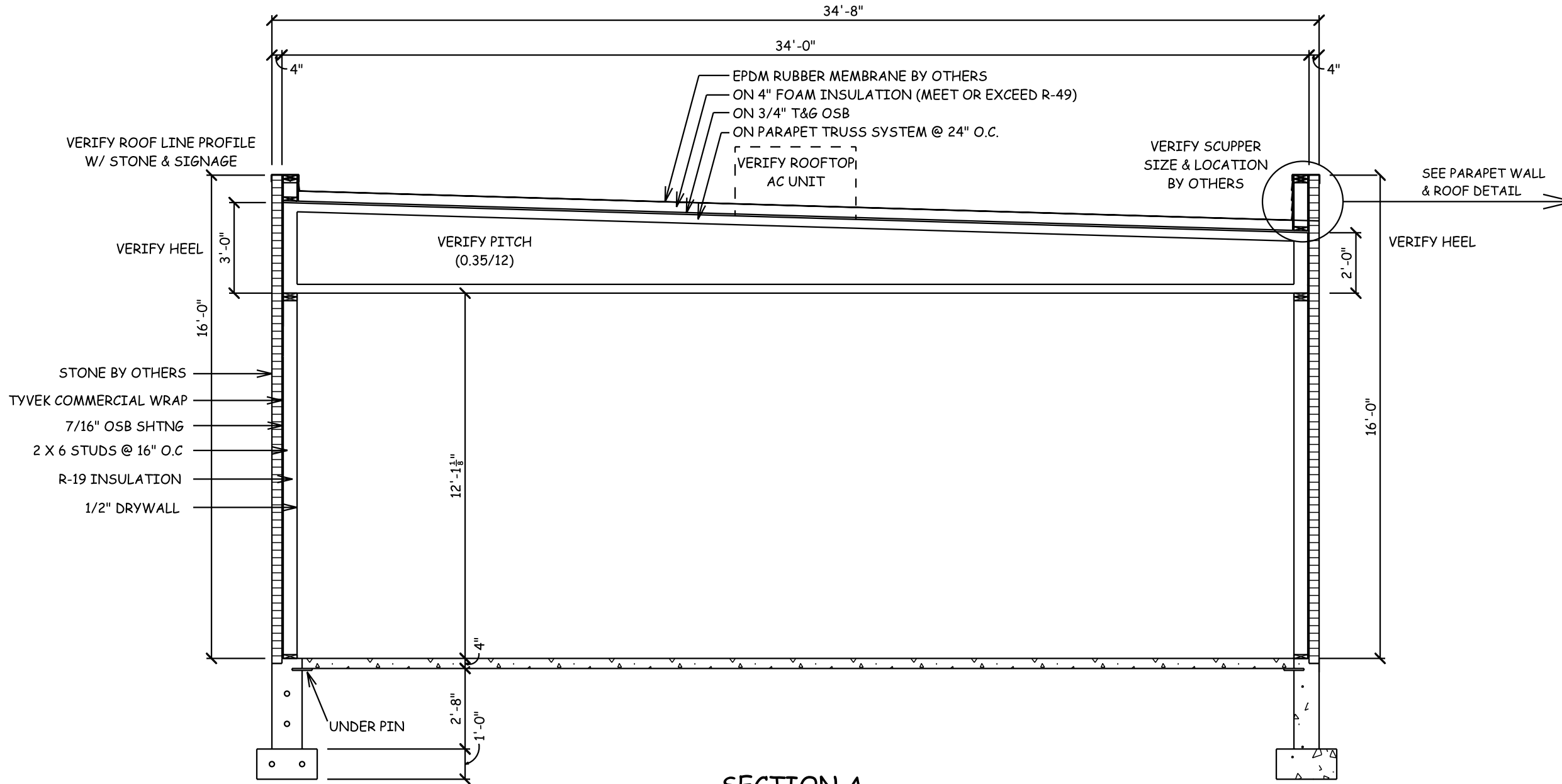
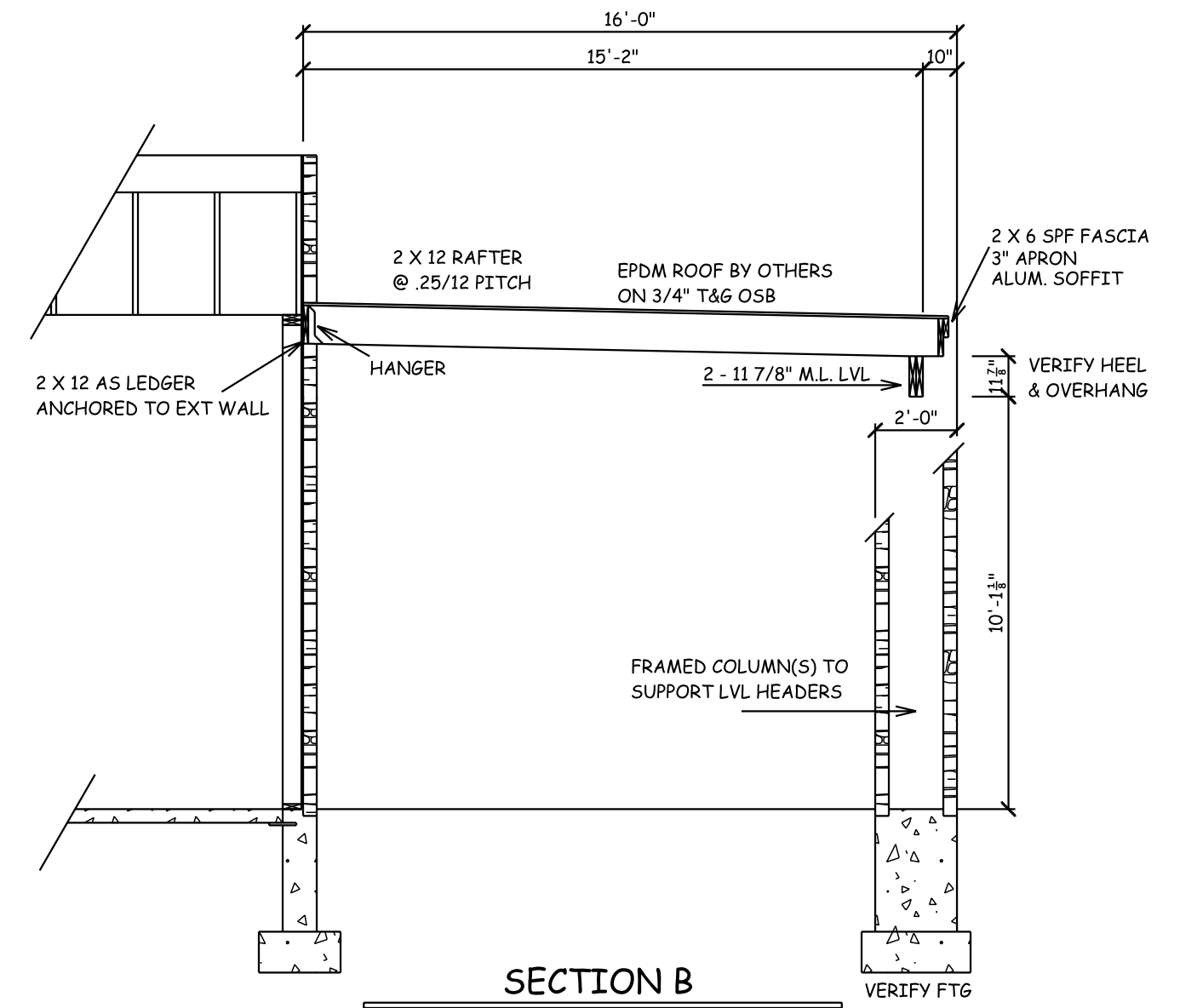


SCALE: 1/4" = 1'-0"		DRAWN BY ZAS	
DATE: 5/16/2022		REVISD	
<b>ELDRIDGE LUMBERYARD INC.</b>			
4692-05-22		FINAL	
		DRAWING NUMBER	
		1 OF 3	

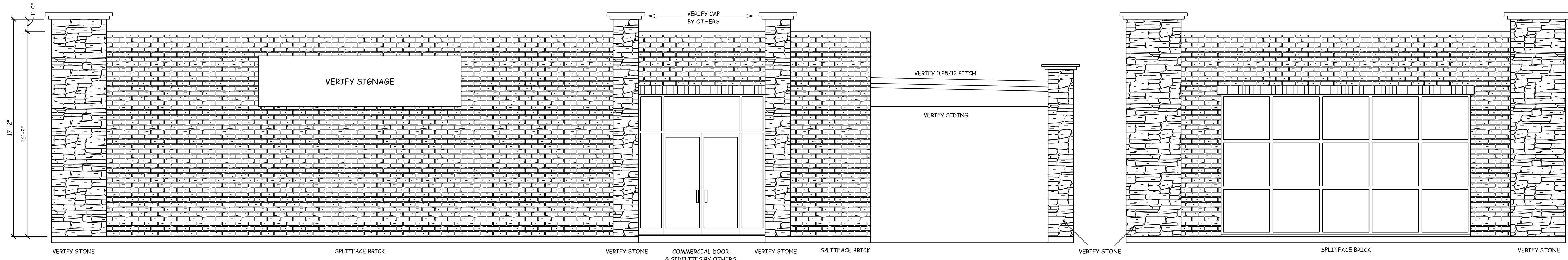


**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"	EMERY CONSTRUCTION	DRAWN BY ZAS
DATE: 5/16/2022		REVISED
<b>ELDRIDGE LUMBERYARD INC.</b>		
4692-05-22	FINAL	DRAWING NUMBER 2 OF 3

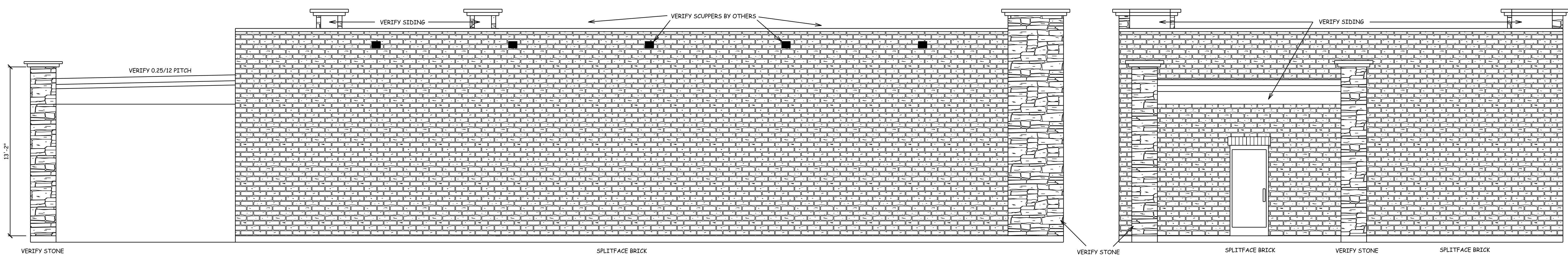


**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"	EMERY CONSTRUCTION	DRAWN BY ZAS
DATE: 5/16/2022		REVISED
<b>ELDRIDGE LUMBERYARD INC.</b>		
4692-05-22	FINAL	DRAWING NUMBER 3 OF 3



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 20, 2022

Staff Report

**Case No. 22-050**

**Location:** 3618 Middle Road – Rezoning

**Applicant:** Emery Construction Group, Inc./Jack Laud

**Current Zoning Classification:** A-2, Rural Residence District

**Proposed Zoning Classification:** C-2, Community Commercial District

**Current Land Use Designation:** Community Commercial

**Background Information and Facts**

Emery Construction Group, Inc./Jack Laud has submitted an application for the rezoning of 3618 Middle Road (see Zoning Aerial – Attachment A). This parcel is a remnant from a larger surrounding area that was originally zoned A-2 and is currently in residential use. The petitioner is requesting a rezoning from A-2 to C-2. The future land use designation for this site is Community Commercial (see Future Land Use Aerial – Attachment B). A laundromat is proposed for this location (see Concept Plan – Attachment C). The site development plan that was approved for Dunkin’ which is adjacent to the lot in question includes a condition for shared access (see Site Development Plan and Resolution – Attachments D and E). The building will have an exterior treatment of split-faced brick and stone (see Floor Plan and Elevations – Attachment F).

**Future Land Use and Comprehensive Plan**

The proposed C-2 zoning is allowed under the Community Commercial Future Land Use designation. Additionally, Laundry Services are a permitted use in the C-2 zoning district. Adjacent zoning is C-2 to the east and west. An A-2 parcel exists immediately to the north and an A-1, Agricultural Urban Reserve District is located south across Middle Road. This proposal aligns with the Comprehensive Plan Goal C: Attract and Retain Business and Industry, by bringing a new commercial service to the area.

### **Utilities**

Utilities are available along Middle Road. Water service, sanitary sewer, and electrical will originate along Middle Road. It is the responsibility of the developer to connect to all utilities. Sanitary sewer will be required to be extended to the parcel directly to the east.

### **Thoroughfare Plan/Access**

Vehicular access to the site will come from Middle Road and via a private access easement to Middle Drive. A sidewalk is required along the property's Middle Road frontage matching the width of the sidewalk currently in place in front of the Dunkin' site.

### **Storm Water Detention**

Storm water detention is required, and the design must be approved by the City Engineer at the time a site development plan is submitted.

### **Recommended Action**

Staff recommends the Planning and Zoning Commission approve the rezoning request given the site's location near other commercial establishments zoned C-2. Additionally, Middle Road is an appropriate minor arterial designed for and capable of handling the traffic generated by a development of this nature.

In addition to the noted analysis provided above, staff finds the zoning amendment adequately addresses all of the following concerns as prescribed in 11-15-13(B) of the Zoning Ordinance:

1. The rezoning conforms to the future land use map in the comprehensive plan, as described in the Preamble and further in subsection A-1-3 of Appendix 1.
2. The amendment is consistent with the goals and objectives of the comprehensive plan.
3. If the responses for both Subsection 11-15-13 B.1. and 11-15-13 B.2. of this section are not affirmative, then either the amendment request recommendation must be denied or the planning and zoning

commission and city council must amend the comprehensive plan to provide the required consistency.

4. The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.
5. The potential externalities and applicable performance standard requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.
6. There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.
7. The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.
8. The proposed amendment is in the public interest and not solely in the interests of the applicant.

Staff recommends approval of the rezoning request subject to the following conditions:

1. Approval of the rezoning does not waive any applicable city, state, or federal provisions as required by law.
2. A site development is required to be approved by City Council prior to the issuance of building permits.

Respectfully submitted,

Greg Beck  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on rezoning request for 3618 Middle Road, A-1 to C-2, submitted by Emery Construction Group, Inc./Jack Laud. (Case 22-050)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

10. Case 22-050; 3618 Middle Road, A-1 Agricultural/Urban Reserve District to C-2 Community Commercial District, submitted by Emery Construction Group, Inc./Jack Laud.

Beck reviewed the staff report.

Ormsby asked for clarification of the changes that would be made to the entrance on Middle Road. Beck explained that the resolution approving the site development plan for Dunkin' located to the west of this lot included a condition that the right-in/right-out island would be removed at such time as access was granted to Lot 5. He added that the entrance will be shared between the two lots and would provide full access. Morlok explained that because of the narrowness of the lots, there was not enough space for a full access entrance for Lot 4 at the time it was developed.

On motion by Adam, seconded by Stoltenberg, that the request to rezone 3618 Middle Road, A-1 to C-2, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**MEETING DATE:** August 2, 2022

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution approving the final plat of Our Lady of Lourdes–St. John Vianney Addition, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-049)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Our Lady of Lourdes Church and St. John Vianney Church have submitted the final plat of Our Lady of Lourdes–St. John Vianney Addition. The plat encompasses 63.93 acres, more or less, and contains two lots (see Final Plat of Our Lady of Lourdes – St. John Vianney Addition – Attachment A). The applicants are platting the land and rezoning Lot 1 to R-2, Single-Family Residence District in preparation for the development of a new church and school (See Zoning Map – Attachment B).

The area in the proposed subdivision is contemplated in the Bettendorf Future Land Use Map as ULI (see Future Land Use Map – Attachment C). Adjacent areas located to the west and north are also shown as ULI. One portion of land located south of Hopewell Avenue is shown as UMI, Urban Medium Intensity.

The proposed zoning for the platted area is R-2. The proposed rezoning details, analysis, and staff recommendation are detailed in Case 22-048.

The Planning and Zoning Commission made a recommendation for approval of the final plat by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Zoning Map; (B) Final Plat Our Lady of Lourdes-St. John Vianney Addition; (C) Future Land Use Map; (D) Staff report to the Planning and Zoning Commission; (E) Planning and Zoning Commission report to the Mayor and City Council; (F) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION APPROVING THE FINAL PLAT OF  
OUR LADY OF LOURDES–ST. JOHN VIANNEY ADDITION**

WHEREAS, Our Lady of Lourdes Church and St. John Vianney Church have submitted the final plat of Our Lady of Lourdes–St. John Vianney Addition, and

WHEREAS, the Planning and Zoning Commission has reviewed said final plat and recommended approval of it, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission’s recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the final plat of Our Lady of Lourdes–St. John Vianney Addition subject to the following condition:

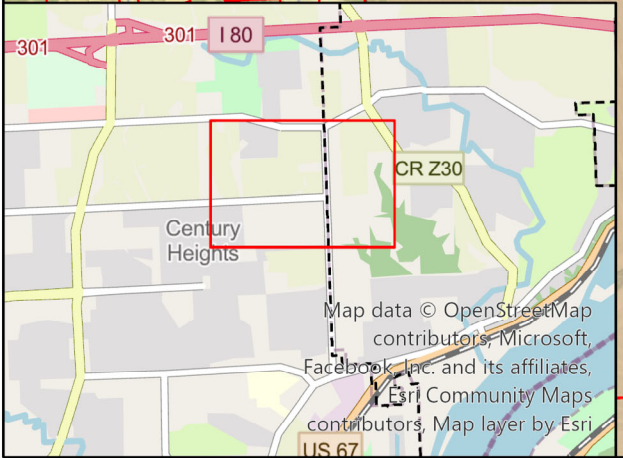
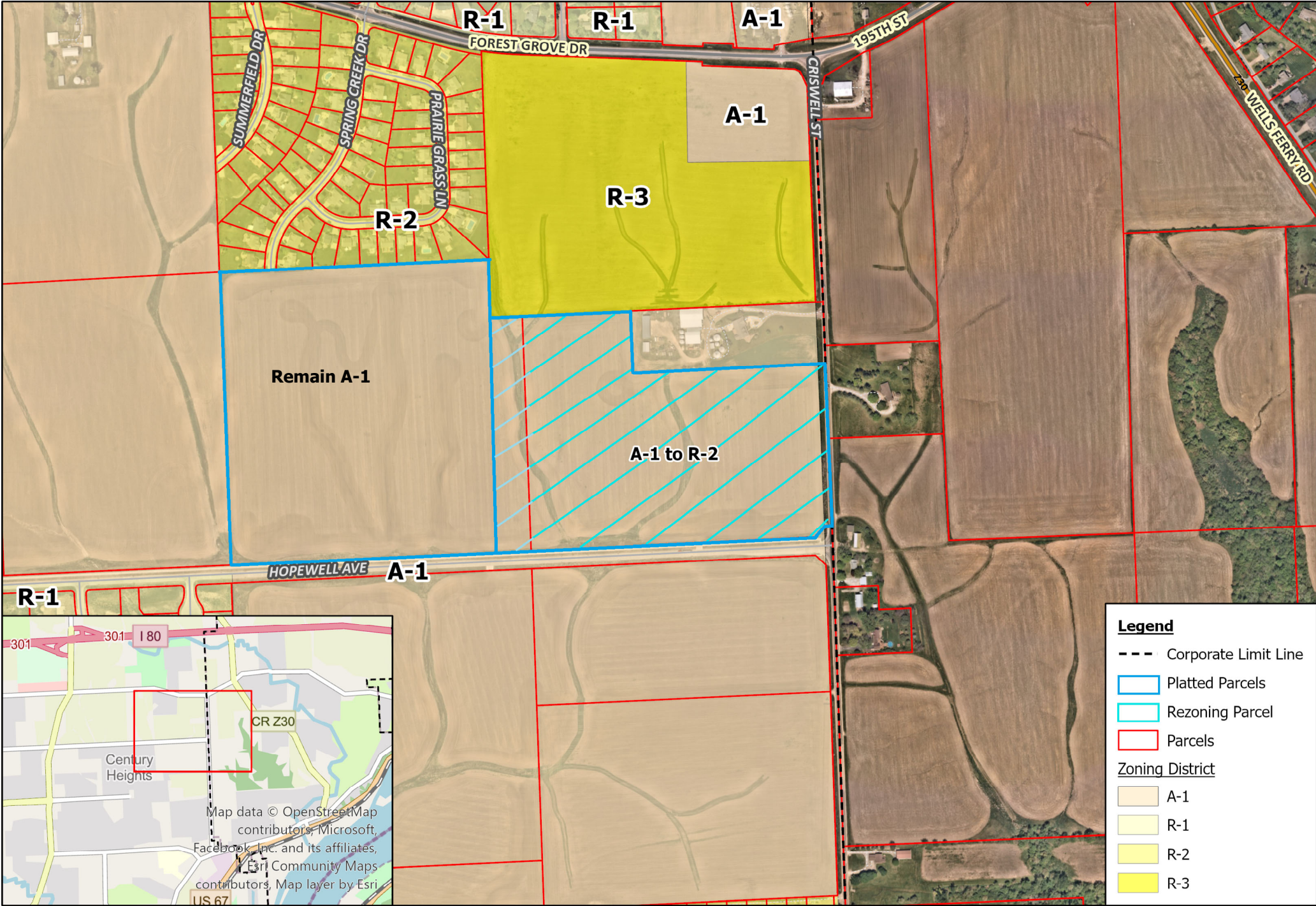
1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**Legend**

- Corporate Limit Line
- ▭ Platted Parcels
- ▭ Rezoning Parcel
- ▭ Parcels

**Zoning District**

- ▭ A-1
- ▭ R-1
- ▭ R-2
- ▭ R-3

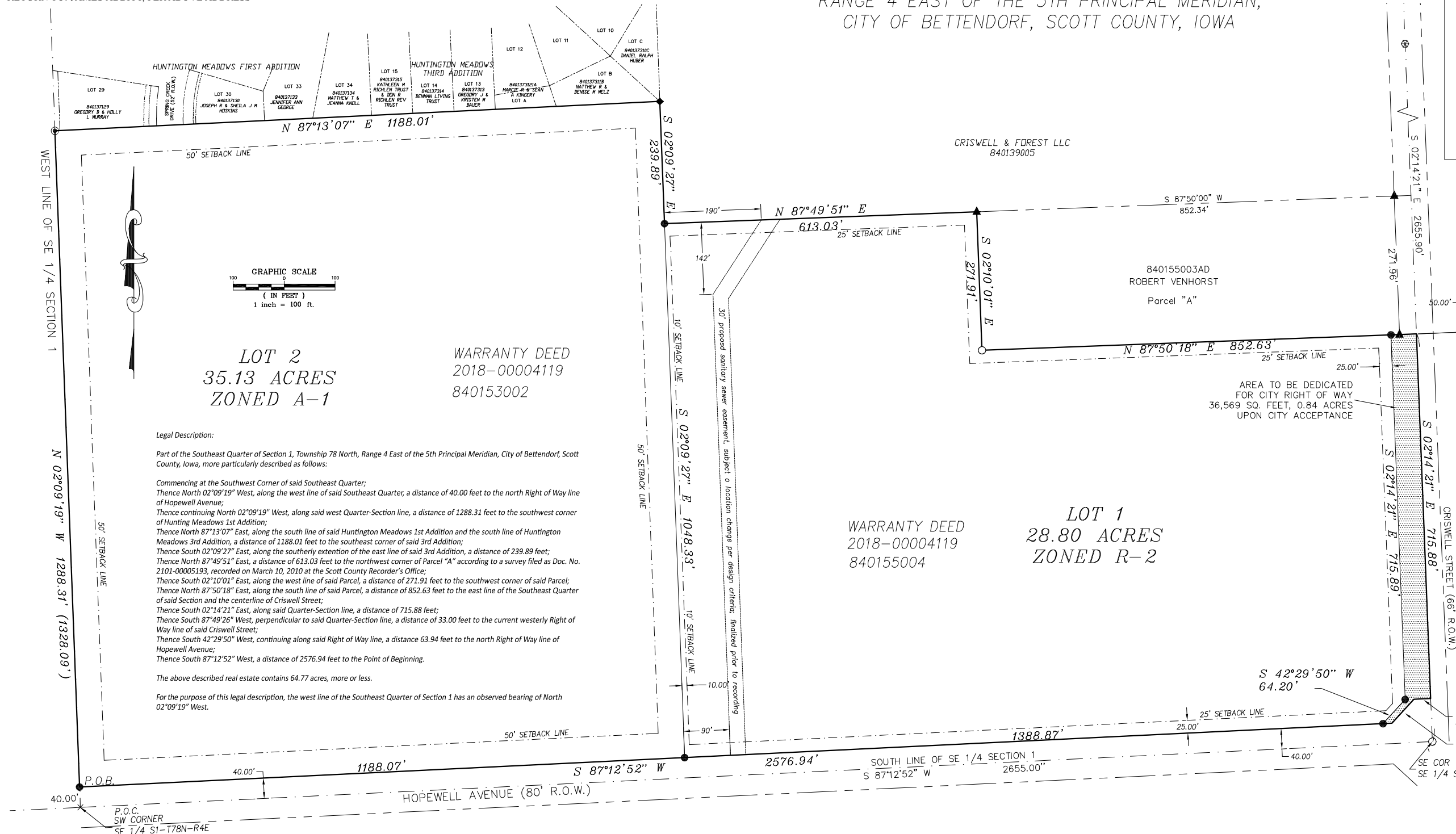
Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri US 67

INDEX LEGEND  
 LOCATION: PART OF THE SE 1/4, SECTION 1-78N-4E  
 BETTENDORF, IA  
 REQUESTOR: OUR LADY OF LOURDES CHURCH - JASON CROSSEN  
 PROPRIETOR: OUR LADY OF LOURDES CHURCH - JASON CROSSEN  
 SURVEYOR: JAMES W. ABBITT, JR.  
 COMPANY: ABBITT SURVEY & DEVELOPMENT, PLLC  
 4900 38th AVENUE, SUITE 1  
 MOLINE, IL 61265  
 309-524-3124  
 RETURN TO: JAMES ABBITT, PER ABOVE ADDRESS

# FINAL PLAT OF SUBDIVISION OUR LADY OF LOURDES - ST. JOHN VIANNEY ADDITION

PART OF THE SOUTHEAST QUARTER, SECTION 1, TOWNSHIP 78 NORTH,  
 RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN,  
 CITY OF BETTENDORF, SCOTT COUNTY, IOWA

ATTACHMENT B



**LOT 2**  
 35.13 ACRES  
 ZONED A-1

WARRANTY DEED  
 2018-00004119  
 840153002

**Legal Description:**  
 Part of the Southeast Quarter of Section 1, Township 78 North, Range 4 East of the 5th Principal Meridian, City of Bettendorf, Scott County, Iowa, more particularly described as follows:  
 Commencing at the Southwest Corner of said Southeast Quarter;  
 Thence North 02°09'19" West, along the west line of said Southeast Quarter, a distance of 40.00 feet to the north Right of Way line of Hopewell Avenue;  
 Thence continuing North 02°09'19" West, along said west Quarter-Section line, a distance of 1288.31 feet to the southwest corner of Huntington Meadows 1st Addition;  
 Thence North 87°13'07" East, along the south line of said Huntington Meadows 1st Addition and the south line of Huntington Meadows 3rd Addition, a distance of 1188.01 feet to the southeast corner of said 3rd Addition;  
 Thence South 02°09'27" East, along the southerly extension of the east line of said 3rd Addition, a distance of 239.89 feet;  
 Thence North 87°49'51" East, a distance of 613.03 feet to the northwest corner of Parcel "A" according to a survey filed as Doc. No. 2101-00005193, recorded on March 10, 2010 at the Scott County Recorder's Office;  
 Thence South 02°10'01" East, along the west line of said Parcel, a distance of 271.91 feet to the southwest corner of said Parcel;  
 Thence North 87°50'18" East, along the south line of said Parcel, a distance of 852.63 feet to the east line of the Southeast Quarter of said Section and the centerline of Criswell Street;  
 Thence South 02°14'21" East, along said Quarter-Section line, a distance of 715.88 feet;  
 Thence South 87°49'26" West, perpendicular to said Quarter-Section line, a distance of 33.00 feet to the current westerly Right of Way line of said Criswell Street;  
 Thence South 42°29'50" West, continuing along said Right of Way line, a distance of 63.94 feet to the north Right of Way line of Hopewell Avenue;  
 Thence South 87°12'52" West, a distance of 2576.94 feet to the Point of Beginning.  
 The above described real estate contains 64.77 acres, more or less.  
 For the purpose of this legal description, the west line of the Southeast Quarter of Section 1 has an observed bearing of North 02°09'19" West.

**LOT 1**  
 28.80 ACRES  
 ZONED R-2

WARRANTY DEED  
 2018-00004119  
 840155004

GENERAL PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY GENERAL PLAT NOTE, OR TO SELL OR VACATE ANY PUBLIC RIGHT OF WAY OR PUBLIC UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATED. CHANGES IN THE PLAT WHICH AFFECT THE PLACEMENT OF UTILITY FACILITIES ARE TO BE REVIEWED AND APPROVED BY THE AFFECTED UTILITIES AND ANY CHANGES WHICH RESULT IN THE RELOCATION OF UTILITY FACILITIES SHALL BE AT THE EXPENSE OF THE PARTY REQUESTING THE CHANGE.

DATE: \_\_\_\_\_  
 MIDAMERICAN ENERGY COMPANY  
 APPROVED SUBJECT TO ENCUMBRANCES OF RECORD

DATE: \_\_\_\_\_  
 IOWA-AMERICAN WATER COMPANY

DATE: \_\_\_\_\_  
 CENTURYLINK

DATE: \_\_\_\_\_  
 METRONET

DATE: \_\_\_\_\_  
 MEDIACOM

DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_  
 BETTENDORF CITY COUNCIL

DATE: \_\_\_\_\_  
 ATTEST:

- LEGEND**
- SET 5/8" REBAR W/ GREEN PLASTIC CAP #18465
  - ◆ FOUND CIR
  - FOUND REBAR
  - ⊙ FOUND CIR 15944
  - ⊙ FOUND CIR 7983
  - ▲ MEASURED DISTANCE
  - RECORD DISTANCE
  - BOUNDARY LINE
  - RIGHT OF WAY LINE
  - BUILDING SETBACK LINE
  - EASEMENT LINE
  - POWER POLE
  - LIGHT POLE
  - STORM MANHOLE
  - CURB INLET
  - FIBER OPTIC VAULT

**ZONING & LOT INFORMATION:**

TOTAL NUMBER OF LOTS: 2  
 TOTAL ACREAGE OF LOTS: 63.93 ACRES

TOTAL R.O.W. ACREAGE: 0.84 ACRES TO BE DEDICATED TO THE CITY OF BETTENDORF

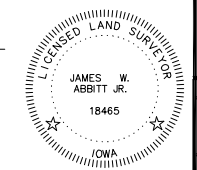
TOTAL SITE ACREAGE: 64.77

LOT 1 ZONED R-2: SINGLE FAMILY  
 FRONT SETBACK = 25'  
 REAR SETBACK = 25'  
 SIDE SETBACK = 10'

LOT 2 ZONED A-1: AGRICULTURE  
 FRONT SETBACK = 25'  
 REAR SETBACK = 25'  
 SIDE SETBACK = 5' MIN. W/ TOTAL OF 10'

I HEREBY VERIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

JAMES W. ABBITT, JR. DATE \_\_\_\_\_  
 REG. NO. 18465  
 MY LICENSE EXPIRES DECEMBER 31, 2022  
 PAGES OR SHEETS COVERED BY THIS SEAL:  
 THIS SHEET ONLY



**SUBDIVIDER**  
 Our Lady of Lourdes Church and Saint John Vianney Church  
 1414 Mississippi Boulevard  
 Bettendorf, IA 52722  
 563-326-1000  
 crossenj@diadov.org

**OWNER**  
 Mildred E. Ven Horst Trust,  
 Mary Stimpson, Trustee  
 2322 East Kimberly Road,  
 Davenport, IA 52807  
 563-326-1000  
 mjstimp@mchsi.com

**ATTORNEY**  
 Schnell & Hancock, P.C.  
 Molly O'Meara Schnell  
 5701 Utica Ridge Rd, Ste 300  
 Davenport, IA 52807  
 563-359-7112  
 mschnell@shlawdov.com

**LAND SURVEYOR**  
 ABBITT SURVEY & DEVELOPMENT, PLLC  
 CONTACT: JIM ABBITT  
 4900 38TH AVENUE, SUITE 1  
 MOLINE, ILLINOIS 61265  
 309-524-3124  
 jim@abbitsurvey.com

**Abbitt**  
 Survey & Development, PLLC

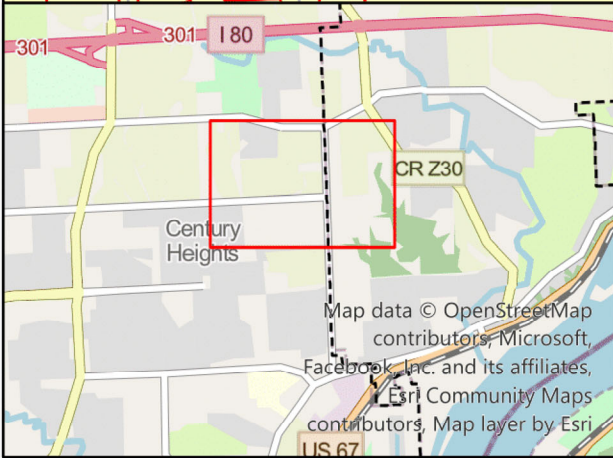
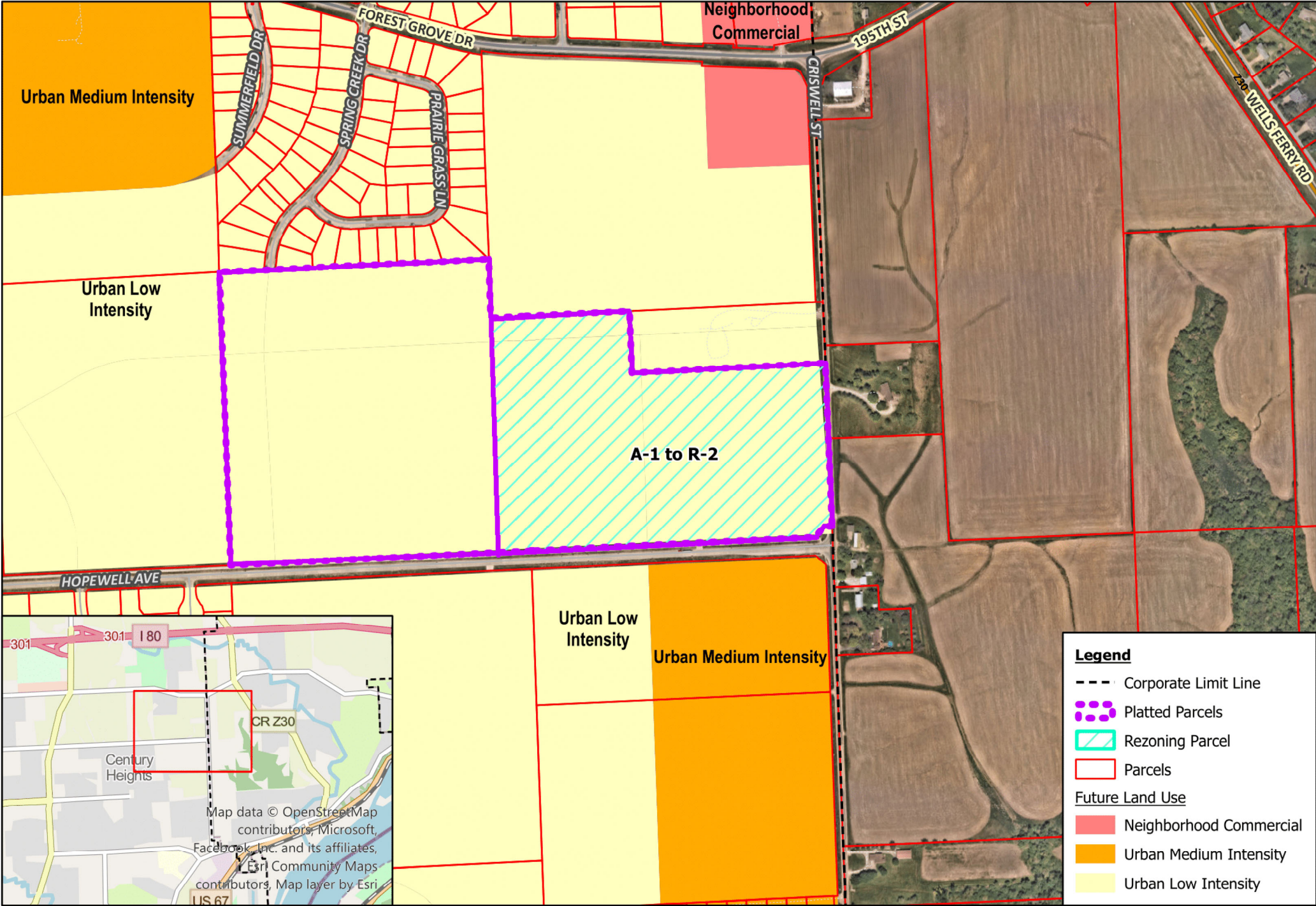
ABBITT SURVEY & DEVELOPMENT, PLLC  
 4900 38TH AVE., SUITE 1  
 MOLINE, ILLINOIS 61265  
 PH. 309-524-3124

DATE: 06-28-2022 SCALE: 1" = 100' DRAWN BY: SEM CHECKED BY: JWA  
 PREPARED FOR: OUR LADY OF LOURDES CHURCH OF BETTENDORF, IOWA  
 ATTN: REV. JASON CROSSEN  
 1414 MISSISSIPPI BLVD  
 BETTENDORF, IA 52722

PAGE: 1 OF 1  
 JOB No.:  
 22-081-ABE-BT-LOURDES

DRAWING TITLE: FINAL PLAT

**22-048: NW Corner of Hopewell Avenue and Criswell Street - Rezoning A-1 to A-2**  
**22-049 Our Lady of Lourdes-St. John Vianney Addition - Final Plat**  
**Future Land Use Map**



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri  
 US 67

**Legend**

- Corporate Limit Line
- Platted Parcels
- Rezoning Parcel
- Parcels

**Future Land Use**

- Neighborhood Commercial
- Urban Medium Intensity
- Urban Low Intensity



**COMMUNITY DEVELOPMENT**

**City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4079**

July 20, 2022 Bettendorf Planning & Zoning Commission Meeting

Staff Report

**Case No. 22-049**

**Application:** Our Lady of Lourdes – St. John Vianney Addition – Final Plat

**Location:** Northwest corner of the intersection of Hopewell Avenue and Criswell Street

**Legal Description:** Part of the SE ¼ of Section 1, Township 78 North, Range 4 East of the Principal Meridian, Bettendorf, Iowa (Parcel #: [840155004](#) and [840153002](#))

**Applicant:** Our Lady of Lourdes Church and St. John Vianney Church

**Current Zoning:** A-1, Agricultural/Urban Reserve District

**Future Land Use:** ULI, Urban Low Intensity

**Background Information and Facts**

Our Lady of Lourdes Church and St. John Vianney Church have submitted the final plat of Our Lady of Lourdes – St. John Vianney Addition ([see Aerial Map – Attachment A](#)). The plat encompasses 63.93 acres, more or less, and contains two lots ([see Final Plat of Our Lady of Lourdes – St. John Vianney Addition – Attachment B](#)). The applicants are platting the land and rezoning Lot 1 to R-2, Single-Family Residence District (see Case No. 22-048) in preparation for the development of a new church and school.

**Future Land Use and Comprehensive Plan**

The area in the proposed subdivision is contemplated in the Bettendorf Future Land Use Map as ULI ([see Future Land Use Map – Attachment C](#)). Adjacent areas located to the west and north are also shown as ULI. One portion land located south of Hopewell Avenue is shown as UMI, Urban Medium Intensity.

**Lot Configuration and Zoning Compliance**

The proposed zoning for the platted area is R-2 ([see Proposed Zoning Map – Attachment D](#)). The proposed rezoning details, analysis, and staff recommendation are covered in Case 22-048.

Lot 1 is a developable lot and meets the proposed R-2 zoning district's bulk standard requirements. Lot 2 will remain A-1, and the agricultural use is proposed to continue there at this time. A 5.1-acre farmstead located north of the proposed subdivision will remain and continue to have agricultural related uses on the site. This farmstead was subdivided from the farmland previously.

### **Utilities**

Water service will be provided by Iowa American to all developments in the subdivision. City sewer connections will also be made to all developments. A 30-foot sanitary sewer easement is shown transecting Lot 1. This easement will provide sewer access to developments located north of this subdivision.

### **Thoroughfare Plan & Access**

No public streets are being added as part of this subdivision. Future development on Lot 1 will have access via Hopewell Avenue or Criswell Street. Lot 2 can be accessed for agricultural use via Hopewell Avenue. The plat shows a 17-foot right-of-way dedication on Criswell Street.

A separated trail existing along the north side of Hopewell Avenue. No sidewalk or trail exists along Criswell Street at this time.

### **Storm Water Detention**

The proposed church and school use on Lot 1 does not necessitate separation of storm water detention areas on the plat. All storm water calculations and requirements will be reviewed at the site development plan stage for any future development.

### **Staff Recommendation**

Staff recommends approval of the final plat of Our Lady of Lourdes - St. John Vianney Addition.

Respectfully submitted,

Taylor Beswick  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Our Lady of Lourdes-St. John Vianney Addition, submitted by Our Lady of Lourdes Church and St. John Vianney Church. (Case 22-049)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named final plat.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

6. Case 22-048; Northwest corner of Hopewell Avenue and Criswell Street, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Our Lady of Lourdes Church and St. John Vianney Church.

Beswick reviewed the staff report.

Paul Ven Horst, 18921 Criswell Street, asked if there would be a retention pond on the property. Wennlund stated that it would be located on the southwest corner of the lot. Beswick added that the plan shown is a concept only and that a site development plan will be required which will include engineering plans and storm water calculations and will show the final locations of the buildings, parking lots, and detention basin locations based on the topography of the site. He stated that sanitary sewer would be installed running north-south on the west side of Lot 1. Ven Horst asked if the previous plan to extend the sewer along Hopewell Avenue to Criswell Street and then run it north had changed. Beswick confirmed this.

On motion by Ormsby, seconded by Gibson, that the request to rezone property located northwest of the corner of Hopewell Avenue and Criswell Street, A-1 to R-2, be recommended for approval subject to staff recommendations.

#### ROLL CALL ON MOTION

AYE:	Gibson, Ormsby, Stoltenberg, Wennlund
NAY:	None
ABSTAIN:	Adam

Motion carried.



**MEETING DATE:** August 2, 2022

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution approving the final plat of Forest Green, submitted by Chris McNamara/McNamara Construction. (Case 22-045)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Chris McNamara/McNamara Construction has submitted the final plat of Forest Green subdivision located on the south side of Forest Grove Drive and west of Criswell Street on the eastern limits of the City of Bettendorf (see Attachment A - Aerial Map). The plat proposes 67 lots and encompasses a total of 35.84 acres, more or less (see Attachment B - Forest Green Final Plat). All land adjacent to and in the proposed subdivision is contemplated in the Bettendorf Future Land Use Map as ULI, with the exception of Outlot A and a corresponding area north of Forest Grove Drive which are contemplated as Neighborhood Commercial (see Attachment C - Future Land Use Map).

The subdivision was conditionally rezoned from A-1 to R-3 except for Outlot A which will remain A-1 at this time (see Attachment D - Zoning Map). The rezoning was approved with a condition that the submitted concept plan materially match the preliminary plat, final plat, and site development plan (see Attachment E - Criswell-Forest Grove Development Rezoning Concept Plan). A site development plan for the townhomes will be reviewed by the Planning and Zoning Commission and City Council pending approval of the final plat. Any development on the A-1 lot (Outlot A) will require approved rezoning(s) and site development plan approval.

The Preliminary Plat was reviewed and recommended for approval by the Planning and Zoning Commission and subsequently approved by City Council on June 7, 2022 (Case No. 22-030 and Resolution 177-22). The final plat and preliminary plat (see Attachment F - Forest Green Preliminary Plat) match materially.

The Planning and Zoning Commission made a recommendation for approval of the final plat by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Aerial Map; (B) Forest Green Final Plat; (C) Future Land Use Map; (D) Zoning Map; (E) Rezoning Concept Plan; (F) Forest Green Preliminary Plat; (G) Staff report to the Planning and Zoning Commission; (H) Planning and Zoning Commission report to the Mayor and City Council; (I) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION APPROVING THE FINAL PLAT OF  
FOREST GREEN**

WHEREAS, Chris McNamara/McNamara Construction has submitted the final plat of Forest Green, and

WHEREAS, the Planning and Zoning Commission has reviewed said final plat and recommended approval of it, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the final plat of Forest Green subject to the following conditions:

1. Approval of the final plat does not waive any other state, federal, or local government provisions as required by law.
2. No parking is allowed on streets adjacent to townhome units between November 15 and March 31 to facilitate snow removal operations. This timeframe corresponds with the city's designated on-call snow season.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

---

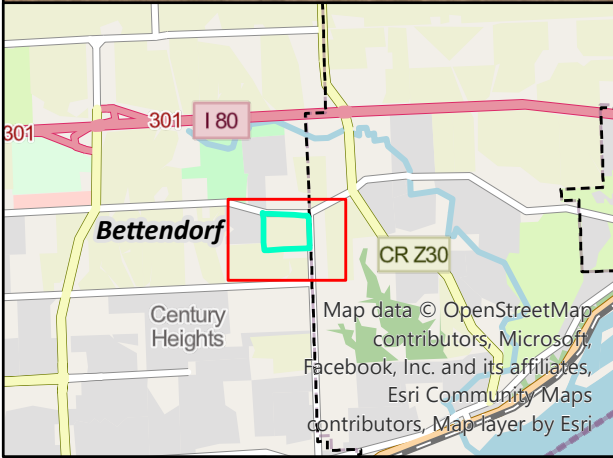
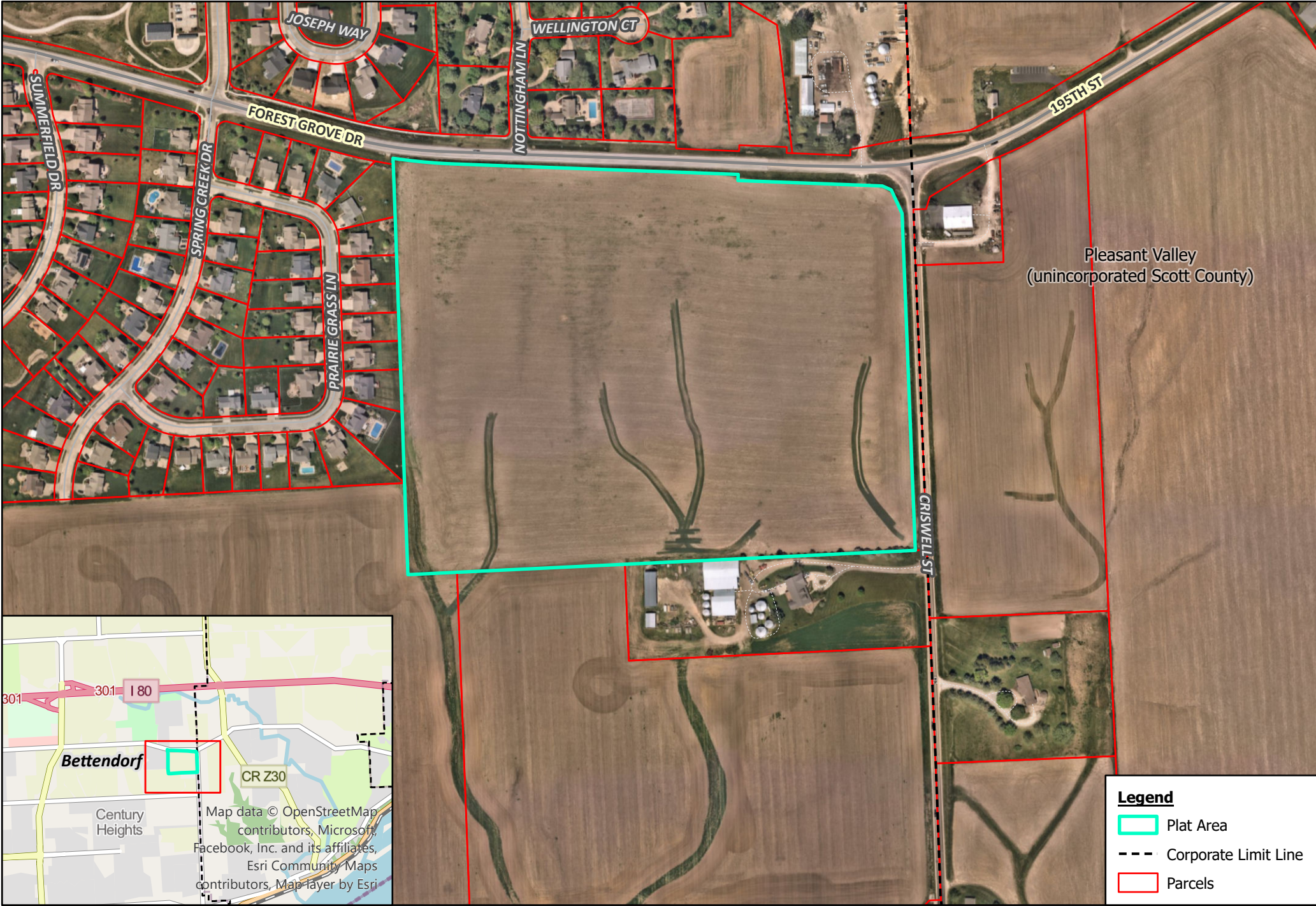
Robert S. Gallagher, Mayor

ATTEST:

---

Decker P. Ploehn, City Clerk

1 Inch = 345 Feet



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

**Legend**

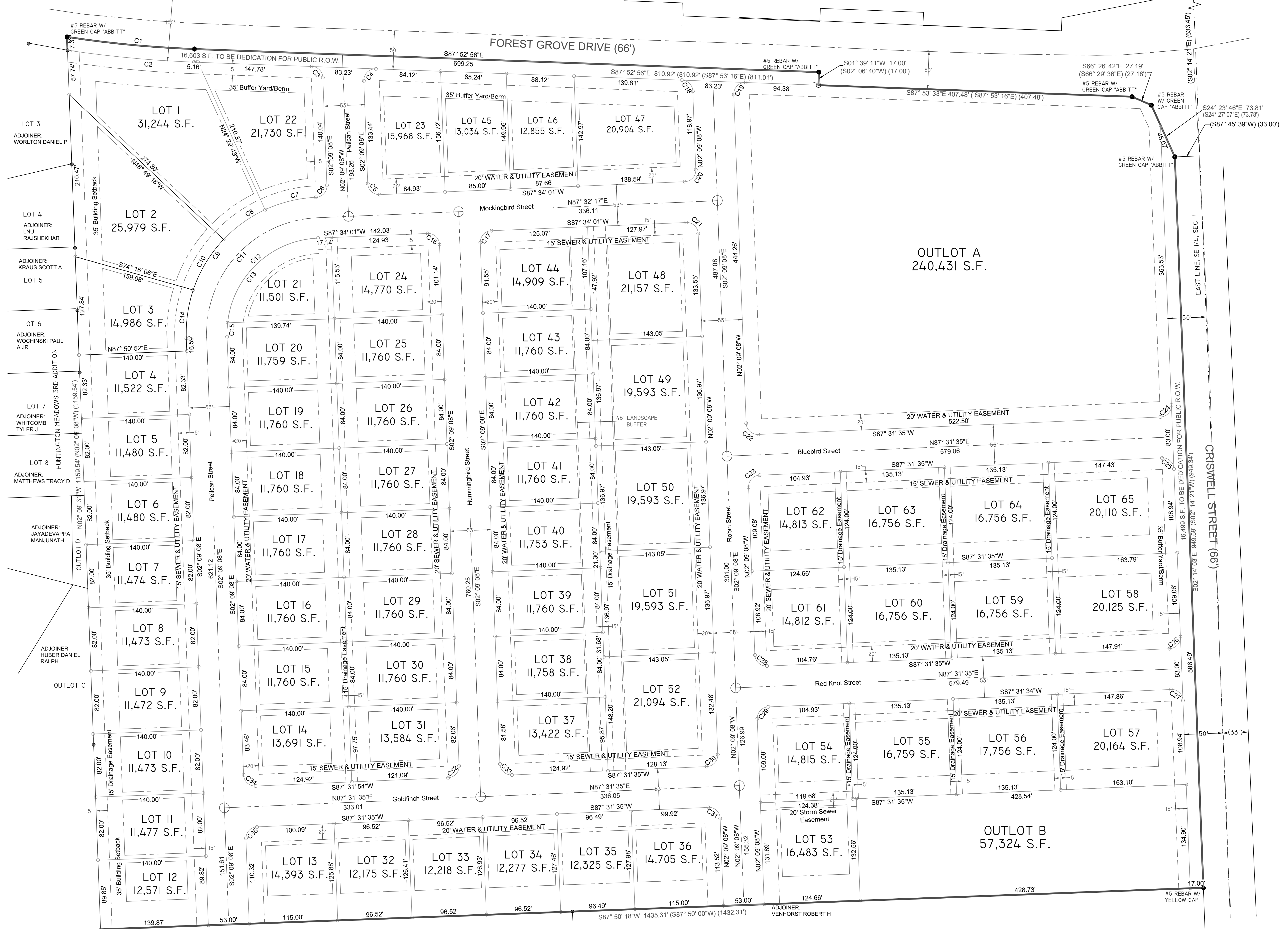
- Plat Area
- Corporate Limit Line
- Parcels

# FOREST GREEN

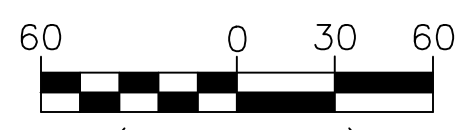
BEING PART OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M. CITY OF BETTENDORF, SCOTT COUNTY, IOWA

5H57<A 9BH6

NE CORNER, SE 1/4, SECTION 1-78-4E



### GRAPHIC SCALE

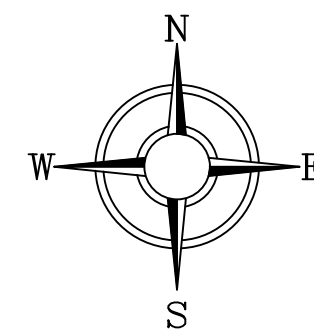


( IN FEET )  
1" = 60' (24x36)

THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE US STATE PLANE COORDINATE SYSTEM, IOWA SOUTH ZONE (1402) GEOID 12A, NAD 83 (2011) EPOCH 2010.00.

### LEGEND:

- DEED DIMENSION = (0.00')
- FIELD DIMENSION = 0.00'
- MONUMENTS FOUND: AS NOTED = ●
- MONUMENTS SET: #5 REBAR W/ YELLOW CAP #23503 = ○
- BOUNDARY LINE = ————
- FENCE LINE = —+—+—+—+—+—+—
- EASEMENT LINE = ————
- SETBACK LINE = - - - - -
- SECTION LINE = ————



NO.	REVISIONS: DESCRIPTION	DATE

PROJECT	DEVELOPER
FINAL PLAT FOREST GREEN BETTENDORF, IOWA	MCNAMARA CONSTRUCTION 4841 SCHOOL HOUSE ROAD BETTENDORF, IOWA 52722

SHEET NO.
1 of 2

# FINAL PLAT FOREST GREEN

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 78 NORTH, RANGE 4 EAST OF  
THE 5th P.M. CITY OF BETTENDORF, SCOTT COUNTY, IOWA

**NOTES:**

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.

THIS SURVEY IS NOT VAID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

NO PORTION OF THE SUBDIVISION ARE LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1 % ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAPS #19163C0376F AND 19163C0378F, EFFECTIVE DATE FEBRUARY 18, 2011.

LOTS 1-46 SHALL BE DESIGNATED FOR SINGLE FAMILY USE WITH A ZONING OF R-3.

LOTS 47-65 SHALL BE DESIGNATED FOR 4-UNIT SINGLE STORY TOWNHOMES WITH A ZONING OF R-3.

OUTLOT A SHALL BE RESERVED FOR NEIGHBORHOOD COMMERCIAL USE, ZONING REMAINS A-1.

OUTLOT B SHALL BE DESIGNATED FOR STORM WATER DETENTION AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER; S ASSOCIATION.

ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.

NO LOT IS ALLOWED TO HAVE DIRECT ACCESS TO FOREST GROVE DRIVE OR CRISWELL STREET.

IN THE EVENT PELICAN STREET IS NOT EXTENDED SOUTHERLY OF THIS SUBDIVISION PRIOR TO HOUSE CONSTRUCTION ON LOTS 12 AND 13, THE DRIVEWAYS ON THOSE LOTS SHALL BE CONSTRUCTED WITH 6-INCH THICK PORTLAND CEMENT CONCRETE, AND CITY OF BETTENDORF VEHICLES SHALL BE ALLOWED TO USE THOSE DRIVEWAYS SPECIFICALLY FOR TURN-AROUND PURPOSES UNTIL SUCH TIME AS THE STREET IS EXTENDED.

NO BERM OR PLANTINGS ARE ALLOWED IN 15-FOOT WIDE DRAINAGE EASEMENT AREA WITHIN LANDSCAPE BUFFER AREA BETWEEN SINGLE-FAMILY DETACHED HOMES AND TOWNHOMES.

Curve Table					
Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	166.28'	1465.50'	006°30'04"	166.20'	S84° 33' 57"E
C2	164.98'	1482.50'	006°22'34"	164.89'	S84° 37' 45"E
C3	22.44'	15.00'	085°43'47"	20.41'	N45° 01' 02"W
C4	24.68'	15.00'	094°16'13"	21.99'	S44° 58' 58"W
C5	23.64'	15.00'	090°16'51"	21.27'	S47° 17' 33"E
C6	23.43'	15.00'	089°30'46"	21.12'	N42° 36' 15"E
C7	68.20'	176.50'	022°08'23"	67.78'	S76° 17' 26"W
C8	66.81'	176.50'	021°41'20"	66.41'	S54° 22' 35"W
C9	275.74'	176.50'	089°30'46"	248.55'	S42° 36' 15"W
C10	77.00'	176.50'	024°59'49"	76.39'	S31° 02' 00"W
C11	234.84'	149.99'	089°42'44"	211.58'	S42° 42' 06"W
C12	193.38'	123.50'	089°42'56"	174.22'	S42° 42' 33"W
C13	175.27'	123.50'	081°18'47"	160.93'	S46° 54' 38"W
C14	63.73'	176.50'	020°41'13"	63.38'	S08° 11' 28"W
C15	18.11'	123.50'	008°24'09"	18.10'	S02° 02' 56"W
C16	23.64'	15.00'	090°16'51"	21.27'	N47° 17' 33"W
C17	23.49'	15.00'	089°43'09"	21.16'	S42° 42' 27"W
C18	22.44'	15.00'	085°43'47"	20.41'	N45° 01' 02"W
C19	24.68'	15.00'	094°16'12"	21.99'	S44° 58' 58"W
C20	23.49'	15.00'	089°43'09"	21.16'	N42° 42' 27"E
C21	23.64'	15.00'	090°16'51"	21.27'	N47° 17' 33"W
C22	23.65'	15.00'	090°19'17"	21.27'	S47° 18' 47"E
C23	23.48'	15.00'	089°40'43"	21.15'	S42° 41' 13"W
C24	23.50'	15.00'	089°45'38"	21.17'	N42° 38' 46"E
C25	23.62'	15.00'	090°14'22"	21.26'	N47° 21' 14"W
C26	23.50'	15.00'	089°45'38"	21.17'	N42° 38' 46"E
C27	23.62'	15.00'	090°14'23"	21.26'	N47° 21' 14"W
C28	23.65'	15.00'	090°19'17"	21.27'	S47° 18' 47"E
C29	23.48'	15.00'	089°40'43"	21.15'	S42° 41' 13"W
C30	23.48'	15.00'	089°40'43"	21.15'	N42° 41' 13"E
C31	23.65'	15.00'	090°19'17"	21.27'	N47° 18' 47"W
C32	23.48'	15.00'	089°40'43"	21.15'	N42° 41' 13"E
C33	23.65'	15.00'	090°19'17"	21.27'	S47° 18' 47"E
C34	23.65'	15.00'	090°19'17"	21.27'	S47° 18' 47"E
C35	23.48'	15.00'	089°40'43"	21.15'	S42° 41' 13"W

APPROVAL SIGNATURES:

\_\_\_\_\_  
MAYOR DATE:

\_\_\_\_\_  
CITY CLERK DATE:

\_\_\_\_\_  
CHAIRMAN PLAN & ZONE DATE:

\_\_\_\_\_  
CENTURY LINK DATE:

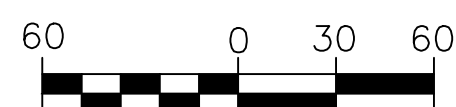
\_\_\_\_\_  
IOWA - AMERICAN WATER COMPANY DATE:

\_\_\_\_\_  
MEDIACOM DATE:

\_\_\_\_\_  
MIDAMERICAN ENERGY DATE:  
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

\_\_\_\_\_  
METRONET DATE:

**GRAPHIC SCALE**

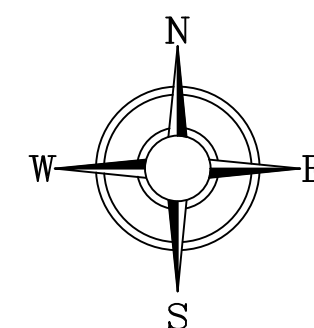


( IN FEET )

1" = 60' (24x36)

THE MEASURED BEARINGS SHOWN  
HEREON ARE BASED ON THE US STATE  
PLANE COORDINATE SYSTEM, IOWA  
SOUTH ZONE (1402) GEOID 12A, NAD 83  
(2011) EPOCH 2010.00.

**LEGEND:**  
DEED DIMENSION = (0.00')  
FIELD DIMENSION = 0.00'  
MONUMENTS FOUND:  
AS NOTED = ●  
MONUMENTS SET:  
#5 REBAR W/ YELLOW CAP #23503 = ○  
BOUNDARY LINE = ————  
FENCE LINE = ————  
EASEMENT LINE = ————  
SETBACK LINE = - - - - -  
SECTION LINE = - - - - -



**PLAT INFORMATION**

- Owner:  
McNamara Construction  
4841 School House Road  
Bettendorf, Iowa 52722
- Engineer:  
Townsend Engineering  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Surveyor:  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Attorney:  
Tom Pastmak  
313 W. 3rd Street  
Davenport, Iowa 52801  
Ph: (563) 323-7737

Single Family Setbacks		
Front	Rear	Side
25'	25'	Min 5' w/Total Of 15'

Multi-Family Setbacks		
Front	Rear	Side
25'	25'	Min 5' w/Total Of 15'

LAND SURVEYOR

MICHAEL D. RICHMOND

23503

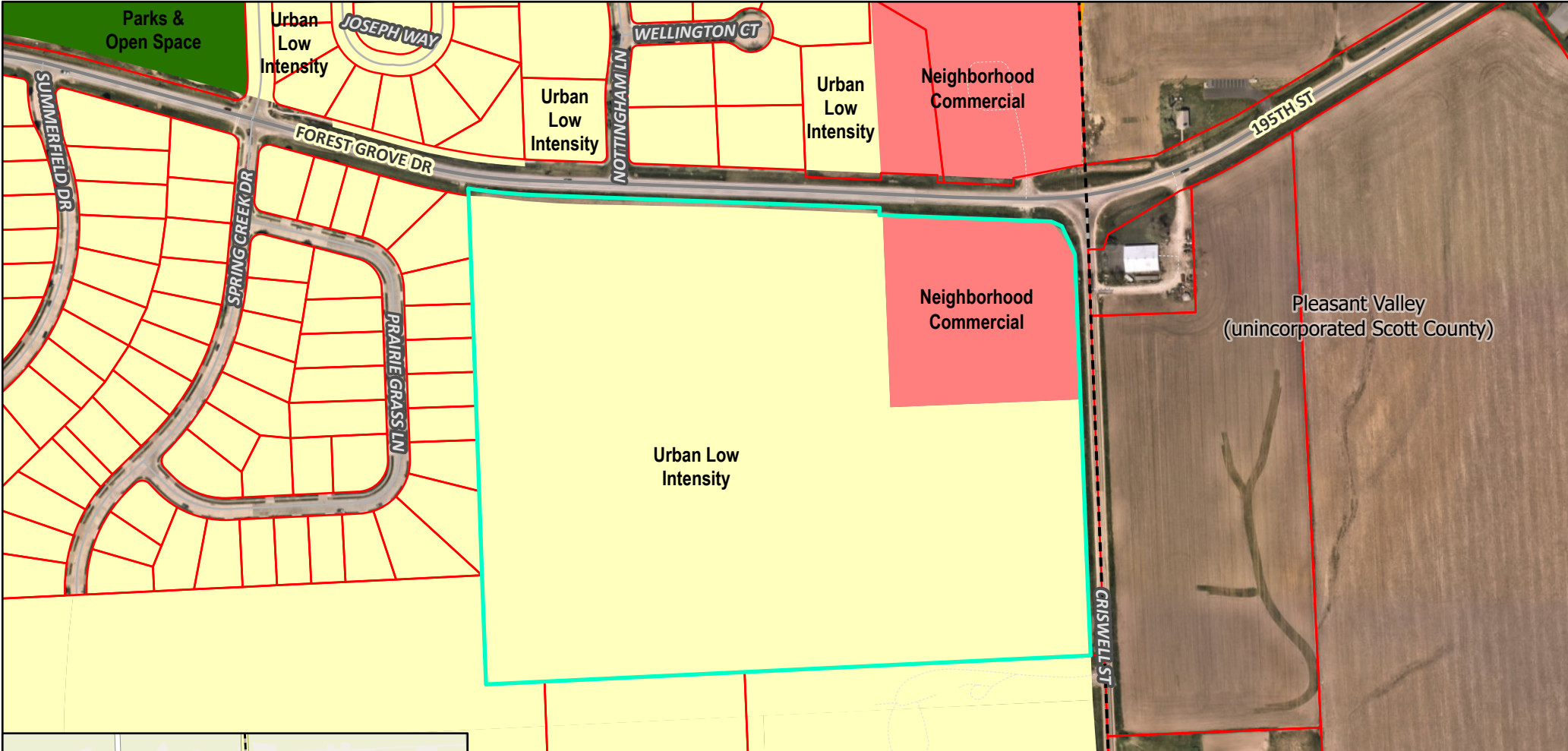
IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

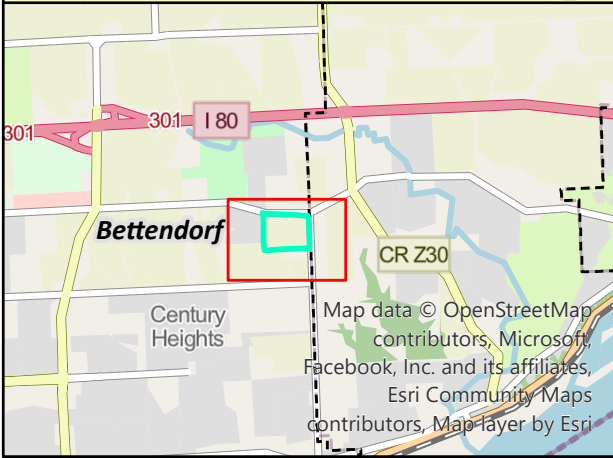
MICHAEL D. RICHMOND  
Iowa License Number: 23503  
My license renewal date is December 31, 2023  
Pages or sheets covered by this seal: 2

**Case 22-045: Forest Green  
Final Plat  
Future Land Use Map**

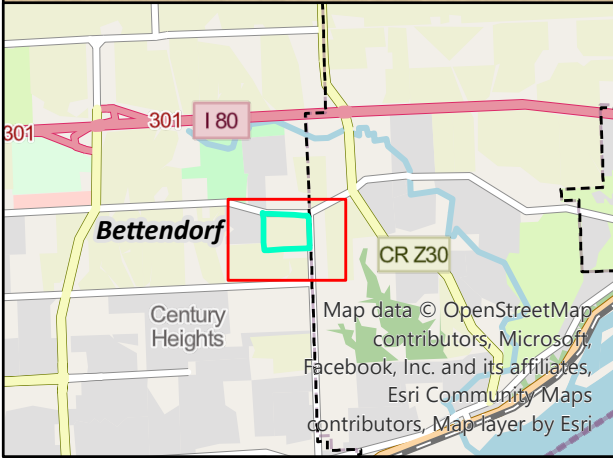
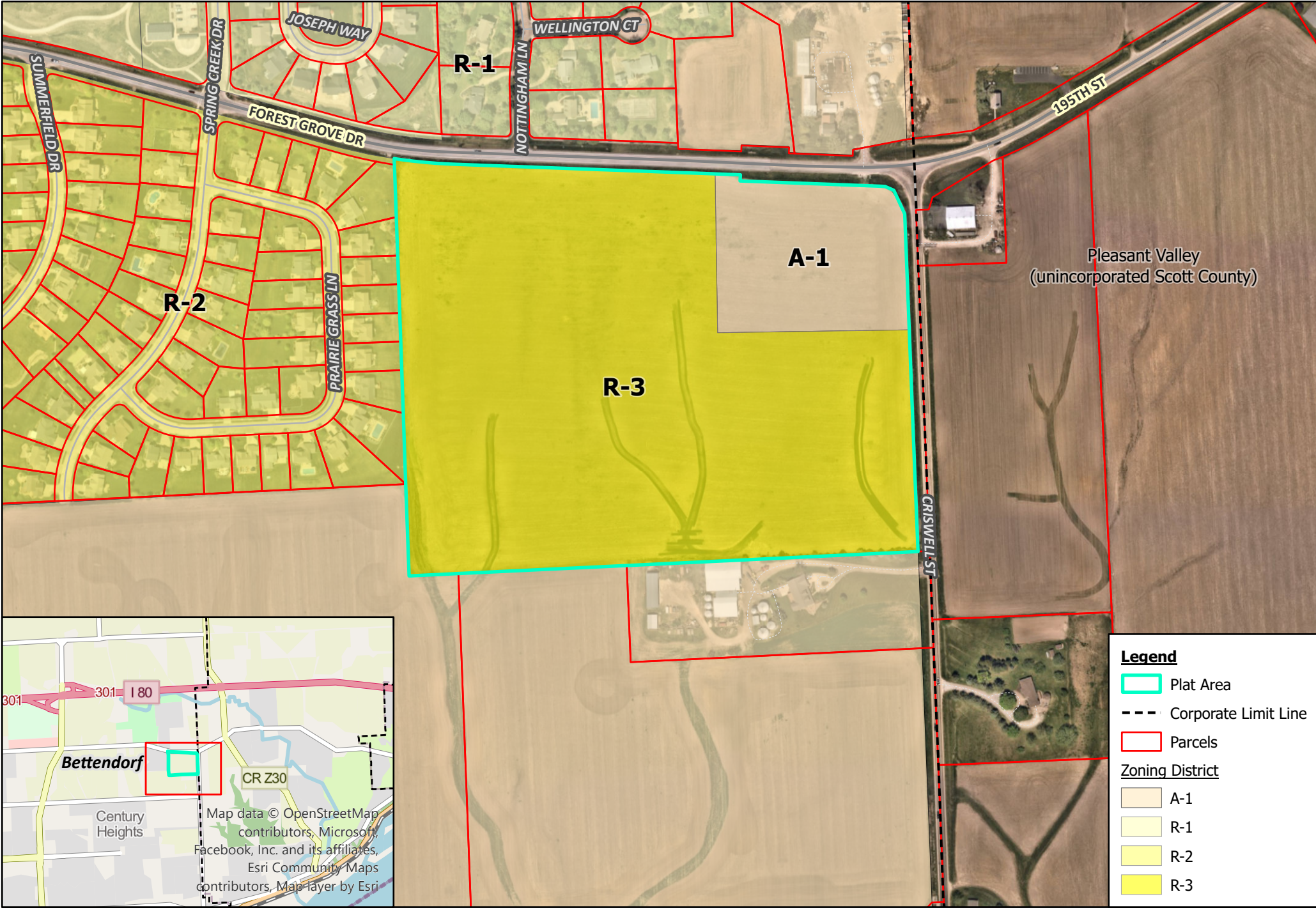
1 Inch = 345 Feet



Pleasant Valley  
(unincorporated Scott County)



- Legend**
- Plat Area
  - Corporate Limit Line
  - Parcels
  - Future Land Use**
  - Neighborhood Commercial
  - Parks & Open Space
  - Urban Low Intensity
  - Urban Medium Intensity



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

**Legend**

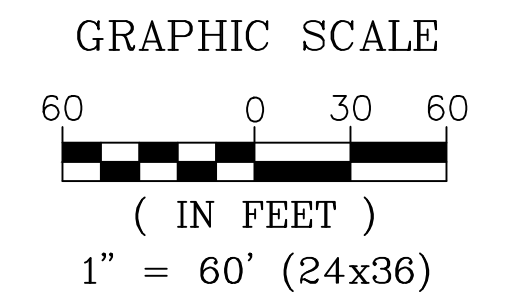
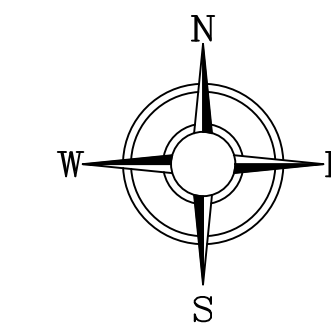
- Plat Area
- Corporate Limit Line
- Parcels

**Zoning District**

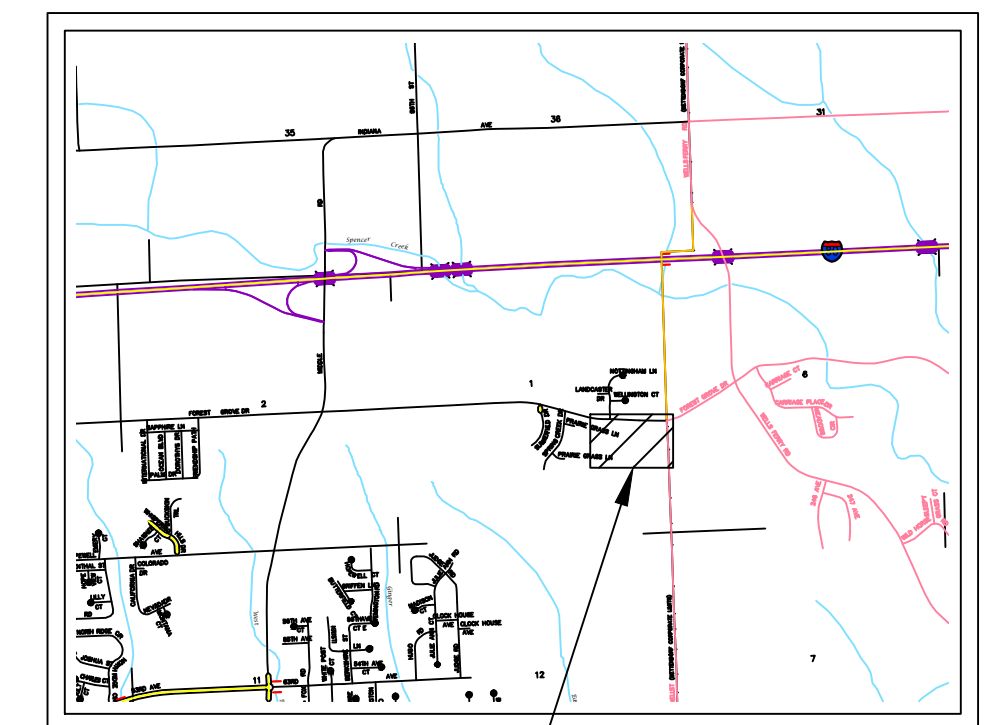
- A-1
- R-1
- R-2
- R-3

**CRISWELL-FOREST GROVE DEVELOPMENT**

TO THE CITY OF BETTENDORF, IA



SITE LOCATION MAP



APPROXIMATE SITE LOCATION

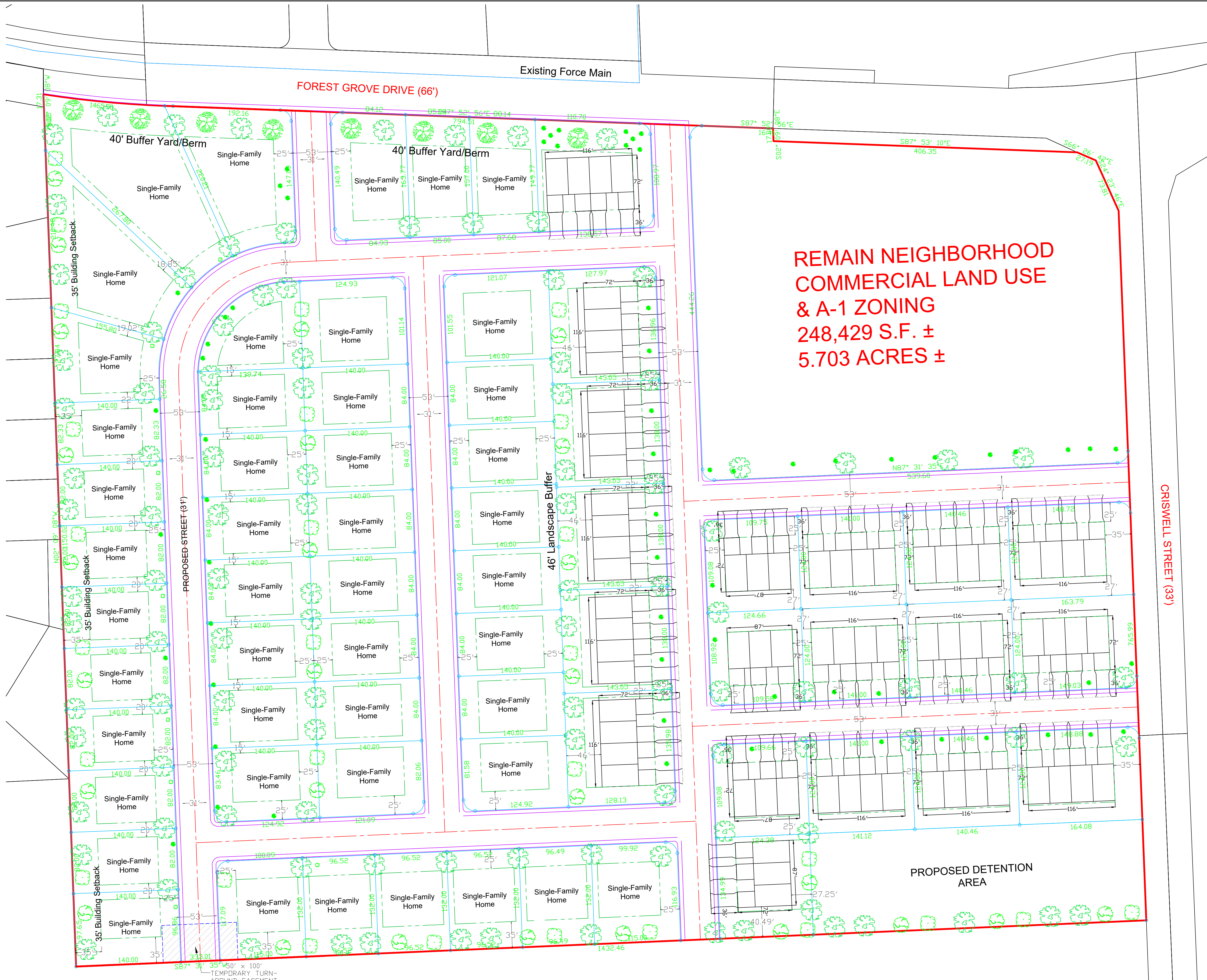
**REMAIN NEIGHBORHOOD  
COMMERCIAL LAND USE  
& A-1 ZONING  
248,429 S.F. ±  
5.703 ACRES ±**

**GENERAL NOTES**

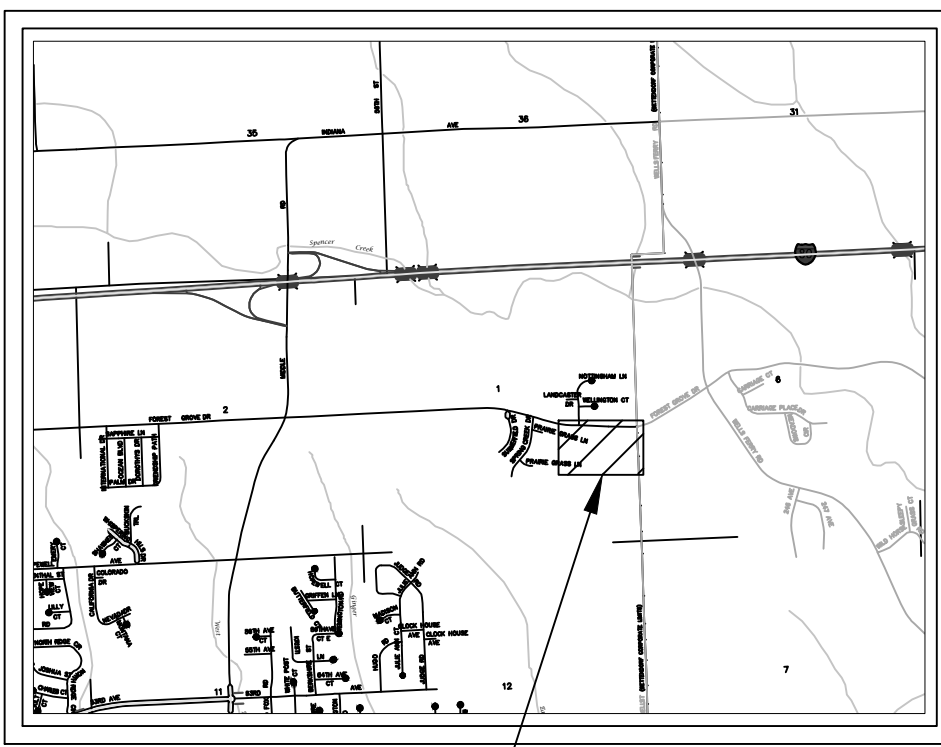
- 30.262 ACRES TO BE REZONED FROM A-1 TO R-3 DESIGNATION. ULI LAND USE TO REMAIN.
- REMAINDER OF PROPERTY TO STAY NEIGHBORHOOD COMMERCIAL LAND USE AND A-1 ZONING.
- A 40 FEET LANDSCAPED BERM SHALL BE DESIGNATED ALONG THE R-3 SECTION OF FOREST GROVE DRIVE ROW.
- A MINIMUM 35 FEET SEPARATION SHALL BE MAINTAINED ALONG THE WEST SIDE OF PROPERTY ADJACENT TO HUNTINGTON MEADOWS THIRD ADDITION AND THE SOUTH SIDE ADJACENT TO EXISTING FARM.
- PROPOSED GRAVITY SANITARY SEWER MAIN SHALL BE RUN FROM THE SOUTH, STARTING AT HOPEWELL AVENUE AND THEN EXTENDING NORTH ALONG THE WEST CRISWELL ROW. GRAVITY MAIN SHALL THEN BE EXTENDED INTO PROPOSED DEVELOPMENT TO SERVICE ENTIRE PROPERTY.
- AN OUTLOT SHALL BE PLATTED AT THE SOUTHEAST PORTION OF PROPERTY FOR REGIONAL DETENTION BASIN TO SERVE ENTIRE DEVELOPMENT.
- DEVELOPMENT SHALL BE SUBDIVIDED WITH ROW DEDICATED TO THE CITY OF BETTENDORF. ROW SHALL BE 53 FEET WIDE.
- PROPOSED BUILDINGS:  
46 SINGLE-FAMILY BUILDINGS = 46 UNITS  
19 MULTI-FAMILY BUILDINGS = 72 UNITS  
30.262 ACRES = 3.9 DU/ACRE

5' WIDE SIDEWALK

31' WIDE PAVEMENT SECTION



NO.	REVISIONS: DESCRIPTION	DATE



APPROXIMATE SITE LOCATION

Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	166.284	1465.501	006.5011	166.20	S84° 33' 57"E
C2	164.958	1482.501	006.3753	164.87	S84° 37' 43"E
C3	22.444	15.000	085.7298	20.41	N45° 01' 02"W
C4	24.680	15.000	094.2702	21.99	S44° 58' 58"W
C5	23.635	15.000	090.2807	21.27	S47° 17' 33"E
C6	23.434	15.000	089.5127	21.12	N42° 36' 15"E
C7	68.201	176.500	022.1397	67.78	S76° 17' 26"W
C8	66.813	176.500	021.6889	66.41	S54° 22' 35"W
C9	275.744	176.500	089.5127	248.55	S42° 36' 15"W
C10	77.004	176.500	024.9971	76.39	S31° 02' 00"W
C11	234.809	150.000	089.6903	211.56	S42° 41' 34"W
C12	193.326	123.500	089.6903	174.18	S42° 41' 34"W
C13	175.214	123.500	081.2878	160.88	S46° 53' 39"W
C14	63.727	176.500	020.6870	63.38	S08° 11' 28"W
C15	18.111	123.500	008.4024	18.10	S02° 02' 56"W
C16	23.635	15.000	090.2807	21.27	N47° 17' 33"W
C17	23.488	15.000	089.7193	21.16	S42° 42' 27"W
C18	22.444	15.000	085.7298	20.41	N45° 01' 02"W
C19	24.680	15.000	094.2699	21.99	S44° 58' 58"W
C20	23.488	15.000	089.7193	21.16	N42° 42' 27"E
C21	23.635	15.000	090.2807	21.27	N47° 17' 33"W
C22	23.646	15.000	090.3213	21.27	S47° 18' 47"E
C23	23.478	15.000	089.6787	21.15	S42° 41' 13"W
C24	23.499	15.000	089.7605	21.17	N42° 38' 46"E
C25	23.625	15.000	090.2395	21.26	N47° 21' 14"W
C26	23.499	15.000	089.7605	21.17	N42° 38' 46"E
C27	23.625	15.000	090.2397	21.26	N47° 21' 14"W
C28	23.646	15.000	090.3213	21.27	S47° 18' 47"E
C29	23.478	15.000	089.6785	21.15	S42° 41' 13"W
C30	23.478	15.000	089.6787	21.15	N42° 41' 13"E
C31	23.646	15.000	090.3213	21.27	N47° 18' 47"W
C32	23.478	15.000	089.6787	21.15	N42° 41' 13"E
C33	23.646	15.000	090.3213	21.27	S47° 18' 47"E
C34	23.646	15.000	090.3213	21.27	S47° 18' 47"E
C35	23.478	15.000	089.6787	21.15	S42° 41' 13"W

**PLAT INFORMATION**

- Owner:**  
McNamara Construction  
4841 School House Road  
Bettendorf, Iowa 52722
- Engineer:**  
Townsend Engineering  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Surveyor:**  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Attorney:**  
Tom Pastnak  
313 W. 3rd Street  
Davenport, Iowa 52801  
Ph: (563) 323-7737

AREA OF SUBDIVISION:  
GROSS AREA: 35.835  
ROW: 7.061  
LOTS 1-65: 21.938  
OUTLOTS A-B: 6.836

Single Family Setbacks		
Front	Rear	Side
25'	25'	Min 5' w/ Total Of 10'

Town Home Setbacks		
Front	Rear	Side
25'	25'	Min 5' w/ Total Of 15'

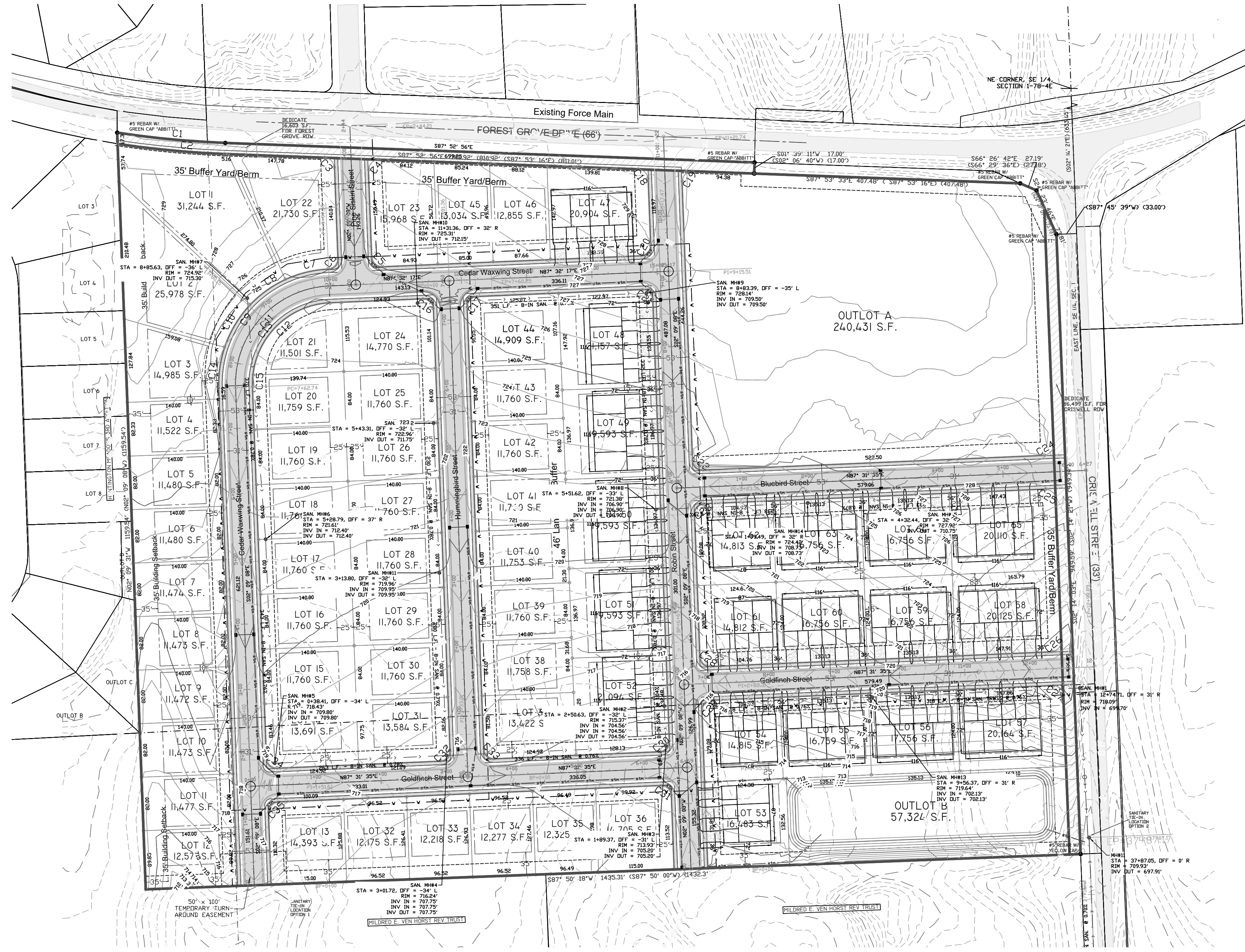
**BOUNDARY LEGEND:**

- DEED DIMENSION = (0.00')
- FIELD DIMENSION = 0.00'
- MONUMENTS FOUND
- #5 REBAR, UNLESS NOTED = ●
- MONUMENTS SET:
- #5 REBAR W/ YELLOW CAP #23503 = ○
- BOUNDARY LINE = \_\_\_\_\_
- ROAD CENTER LINE = \_\_\_\_\_
- EASEMENT LINE = \_\_\_\_\_
- SETBACK LINE = \_\_\_\_\_
- SECTION LINE = \_\_\_\_\_

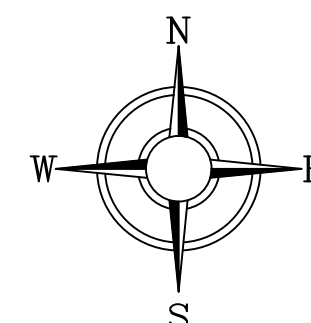
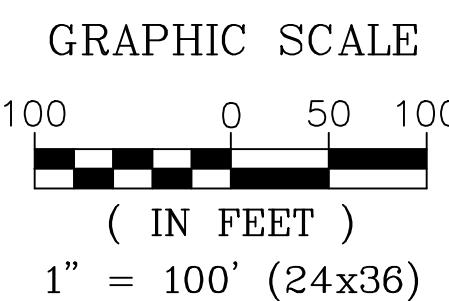
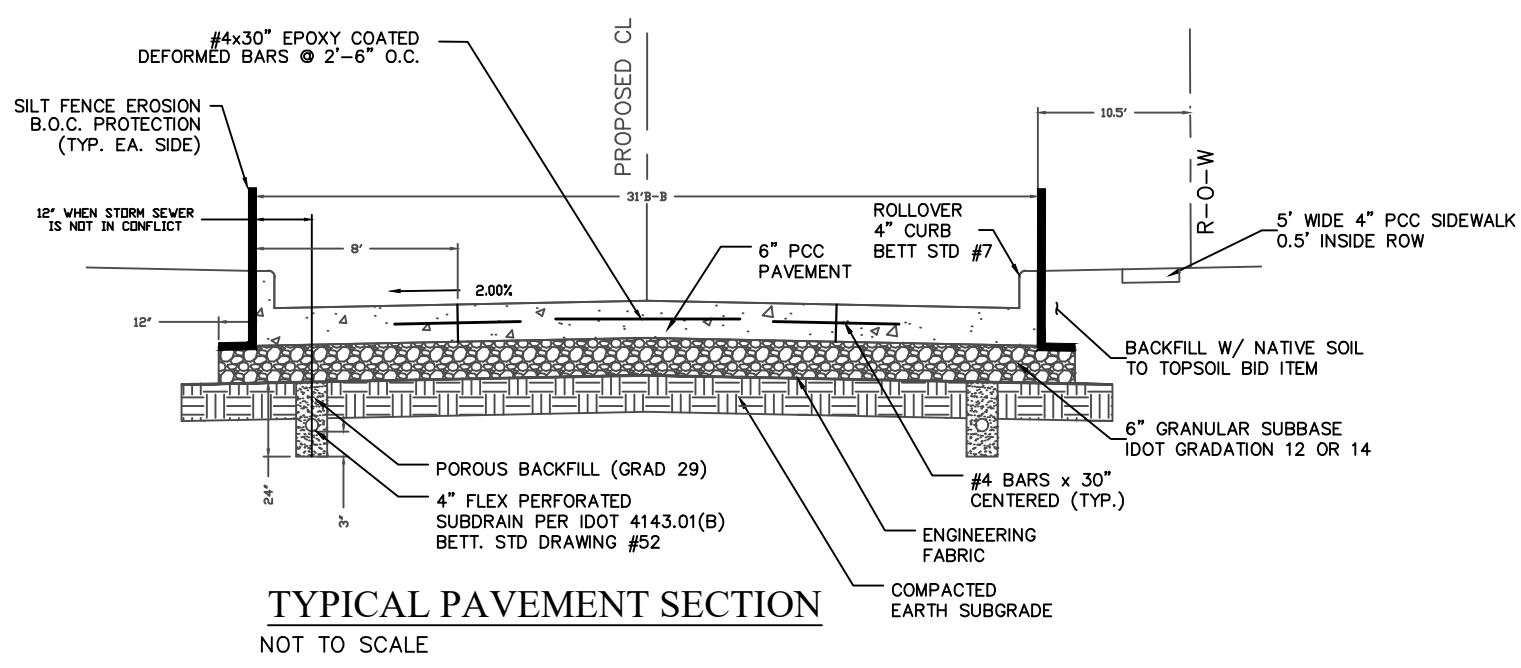
	EASEMENT		EXISTING GAS VALVE		EXISTING CONTOUR LINE
	SETBACK LINE		EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	CENTERLINE		EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	PROPERTY BOUNDARY		EXISTING LIGHT POLE		SPOT ELEVATION FL OF GUTTER
	EXISTING FENCE		EXISTING TREE		SPOT ELEVATION SIDEWALK
	EXISTING SANITARY		EXISTING BUSH		SPOT ELEVATION FINISHED FLOOR
	PROPOSED SANITARY		EXISTING MANHOLE		CONTROL POINT
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT		
	PROPOSED STORM SEWER		FOUND PROPERTY PIN		
	EXISTING WATER		EXISTING ELECTRIC		
	PROPOSED WATER				
	EXISTING GAS LINE				
	SETBACK LINE				
	SECTION LINE				

**PRELIMINARY PLAT  
FOREST GREEN**

BEING PART OF THE SOUTHEAST QUARTER  
SECTION 1, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.  
CITY OF BETTENDORF, SCOTT COUNTY, IOWA



TYPICAL R.O.W. WIDTH = 53'



**MICHAEL D. RICHMOND**  
Iowa License Number: 23503  
My license renewal date is December 31, 2023  
Pages or sheets covered by this seal: 1

**NOTES:**

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

NO PORTION OF THE SUBDIVISION ARE LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAPS #19163C0378F AND #19163C0378F, EFFECTIVE DATE FEBRUARY 18, 2011.

LOTS 1-46 SHALL BE DESIGNATED FOR SINGLE FAMILY USE WITH A ZONING OF R-3.

LOTS 47-65 SHALL BE DESIGNATED FOR 4-UNIT SINGLE STORY TOWNHOMES WITH A ZONING OF R-3.

OUTLOT A SHALL BE RESERVED FOR NEIGHBORHOOD COMMERCIAL USE, ZONING REMAINS A-1.

OUTLOT B SHALL BE DESIGNATED FOR STORM WATER DETENTION AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLANTED.

NO LOT IS ALLOWED TO HAVE DIRECT ACCESS TO FOREST GROVE DRIVE OR CRISWELL STREET.

**SURVEYOR'S FINAL PLAT CERTIFICATE**

I, MICHAEL D. RICHMOND, AN IOWA PROFESSIONAL LAND SURVEYOR NO. 23503, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF IOWA, DO HEREBY CERTIFY THAT THIS FINAL PLAT OF FOREST GREEN TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE BY ME OR UNDER MY DIRECTION AND ACCORDING TO THE LAWS OF THE STATE OF IOWA AND THE CITY OF BETTENDORF SUBDIVISION ORDINANCE, OF THE FOLLOWING DESCRIBED PROPERTY, TO WIT:

PART OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., CITY OF BETTENDORF, SCOTT COUNTY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 1; THENCE ALONG THE EAST LINE OF THE SOUTHEAST QUARTER, SOUTH 02 DEGREES 14 MINUTES 21 SECONDS EAST, A DISTANCE OF 633.45 FEET; THENCE SOUTH 87 DEGREES 45 MINUTES 39 SECONDS WEST TO THE WESTERLY RIGHT OF WAY LINE OF CRISWELL STREET, A DISTANCE OF 33.00 FEET, TO THE POINT OF BEGINNING; THENCE 33.00 FEET DISTANT AND PARALLEL TO SAID EAST QUARTER LINE, SOUTH 02 DEGREES 14 MINUTES 21 SECONDS EAST, A DISTANCE OF 949.34 FEET; THENCE SOUTH 87 DEGREES 50 MINUTES 00 SECONDS WEST, A DISTANCE OF 1432.31 FEET; THENCE NORTH 02 DEGREES 09 MINUTES 08 SECONDS EAST, TO AN ARC WHICH IS ALSO THE SOUTHERLY RIGHT OF WAY OF FOREST GROVE ROAD, A DISTANCE OF 1159.54 FEET; THENCE ALONG A NON-TANGENTIAL ARC A DISTANCE OF 166.17 FEET, ARC BEING CONCAVE NORTH HAVING A RADIUS OF 1465.50 FEET AND A DELTA ANGLE OF 6 DEGREES 29 MINUTES 48 SECONDS; THENCE CONTINUING ALONG SAID SOUTHERLY LINE FOR THE NEXT FOUR COURSES SOUTH 87 DEGREES 53 MINUTES 16 SECONDS EAST, A DISTANCE OF 811.01 FEET; THENCE SOUTH 02 DEGREES 06 MINUTES 40 SECONDS WEST, A DISTANCE OF 17.00 FEET; THENCE SOUTH 87 DEGREES 53 MINUTES 16 SECONDS EAST, A DISTANCE OF 407.48 FEET; THENCE SOUTH 66 DEGREES 29 MINUTES 36 SECONDS EAST, TO THE WESTERLY RIGHT OF WAY LINE OF CRISWELL STREET, A DISTANCE OF 27.18 FEET; THENCE ALONG SAID WESTERLY LINE, SOUTH 24 DEGREES 27 MINUTES 07 SECONDS EAST, A DISTANCE OF 73.78 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL CONTAINS 35.83 ACRES MORE OR LESS.



**COMMUNITY DEVELOPMENT**

**City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4079**

July 20, 2022 Bettendorf Planning & Zoning Commission Meeting

Staff Report

**Case No. 22-045**

**Application:** Forest Green – Final Plat

**Location:** West of Criswell Street and South of Forest Grove Drive near the 6900 block of Forest Grove Drive

**Legal Description:** Part of the SE¼ of Section 1 located in Township 78 North, Range 4 East of the 5<sup>th</sup> Principal Meridian, in the City of Bettendorf, County of Scott, State of Iowa (Parcel ID: [840139005](#))

**Applicant:** Chris McNamara DBA McNamara Construction

**Zoning:** R-3, Mixed Residential District and A-1, Agricultural/Urban Reserve District

**Future Land Use:** ULI, Urban Low Intensity and NC, Neighborhood Commercial

**Background Information and Facts**

Chris McNamara/McNamara Construction has submitted the final plat of Forest Green subdivision located south of Forest Grove Drive and west of Criswell Street on the eastern limits of the City of Bettendorf (see Attachment A – Aerial Map). The plat proposes 67 lots and encompasses a total of 35.84 acres, more or less (see Attachment B – Forest Green Final Plat). On February 16, 2022, a public hearing was held regarding the rezoning of the ground contained in the plat from A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District. Outlot A shown on the final plat was not rezoned and remains in the A-1 District. The rezoning was reviewed and recommended for approval by the Planning and Zoning Commission and subsequently approved by City Council. The rezoning was approved with a condition that the submitted concept plan materially match the preliminary plat, final plat, and site development plan (see Attachment C – Criswell-Forest Grove Development Rezoning Concept Plan). The Preliminary Plat was reviewed and recommended for approval by the Planning and Zoning Commission and subsequently approved by City Council on June 7, 2022 (Case No. 22-030 and Resolution 177-22).

The final plat and preliminary plat (see Attachment D – Forest Green Preliminary Plat) match materially; therefore, staff will only review changes and relevant topics related to

those changes. Please refer to Case No. 22-030 Staff Report for a detailed analysis of the topics analysis categories covered in this report.

### **Future Land Use and Comprehensive Plan**

All land adjacent to and in the proposed subdivision is contemplated in the Bettendorf Future Land Use Map as ULI, with the exception of Outlot A and a corresponding area north of Forest Grove Drive which are contemplated as Neighborhood Commercial (see Attachment E - Future Land Use Map).

### **Lot Configuration and Zoning Compliance**

The subdivision was conditionally rezoned from A-1 to R-3 excluding Outlot A which will remain A-1 at this time (see Attachment F – Zoning Map). Staff contends the submitted final plat for Forest Green subdivision materially matches the preliminary plat and the concept plan submitted with the A-1 to R-3 rezoning application. A site development plan for the townhomes will be reviewed by the Planning and Zoning Commission and City Council pending approval of the final plat. Any development on the A-1 lot (Outlot A) will require approved rezoning(s) and site development plan approval.

### **Utilities**

Water service will be provided by Iowa American Water Company to all lots in the subdivision. City sewer connections will also be provided. All public utilities shall be located within easements or public rights-of-way shown on the plat. The developer is responsible for utility construction and connection costs.

### **Thoroughfare Plan & Access**

All residential lots are accessed via two points from Forest Grove Drive and two points from Criswell Street. Street names have changed from the preliminary plat, with separation of north/south street sections and east/west street sections.

Dead-ends are shown along the southern property line for two roads – Pelican Street and Hummingbird Street. In the event that Pelican Street is not extended southerly of this subdivision prior to house construction on Lots 12 and 13, the driveways on those lots shall be constructed with 6-inch thick Portland Cement Concrete, and City of Bettendorf vehicles shall be allowed the use of those driveways specifically for turnaround purposes until such time as the street is extended. The southern terminus of Hummingbird Street does not necessitate a hammerhead turnaround due to the lot configuration, but will require a reinforced driveway for city service turnarounds on Lot 54. This will be implemented at the

site development plan review stage. All roads within the subdivision are shown to be 53-foot wide dedicated public rights-of-way.

Forest Grove Drive and Criswell Street are both designated as arterial streets and are required to have a 100-foot wide right-of-way. The plat designates an additional 17 feet of right-of-way from the current parcel configuration to meet this requirement.

Outlot A is sufficiently dimensioned to allow separate access from Forest Grove Drive and/or Criswell Street which would meet City street intersection distance separation requirements.

### **Pedestrian and Trail Access**

The final plat shows 5-foot wide sidewalks on all interior rights-of-way frontages. Trail and/or sidewalk construction will not be required along Forest Grove Drive or Criswell Street at this time due to the present drainage ditches. A crosswalk will be constructed across Forest Grove Drive at the southwest intersection of Nottingham Lane which will connect the existing sidewalk on the north side of Forest Grove Drive. This sidewalk traverses west adjacent to Sterling Woods and Spencer Hollow First Addition. Further trail and sidewalk improvements will be constructed and extended when Forest Grove Drive and Criswell Street are improved.

### **Storm Water Detention**

The proposed plat shows a 1.36-acre lot, Outlot B, reserved for storm water detention which will be owned and maintained by the homeowner's association.

### **Staff Recommendation**

Staff recommends approval of the final plat of Forest Green subdivision subject to the following conditions:

1. Approval of the final plat does not waive any other federal, state, or local provisions as required by law.
2. No parking is allowed on streets adjacent to townhome units between November 15 and March 31 to facilitate snow removal operations. This timeframe corresponds with the city's designated on-call snow season.

Respectfully submitted,

Taylor Beswick  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Forest Green,  
submitted by Chris McNamara/McNamara Construction. (Case 22-045)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your  
Honorable Body approve the above named final plat.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

8. Case 22-045; Forest Green, submitted by Chris McNamara/McNamara Construction.

Beswick reviewed the staff report.

Adam asked if the intention is to build a roundabout at the intersection of Forest Grove Drive and Criswell Street. Morlok stated that it is still to be determined but that there will be additional traffic control there given the growth that is occurring in the area.

Stoltenberg asked how Pelican Street would line up with the church and school development to the south. Morlok explained that while it will likely be unneeded, the city would like to preserve the possibility of a connection through the property. Hunt added that in case there is a change in the way the church decides to use and develop the site or if it is sold at some point in the future, the connection would be available.

On motion by Adam, seconded by Ormsby, that the final plat of Forest Green be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**MEETING DATE:** August 2, 2022

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution approving the final plat of Forest Grove Crossing Sixth Addition, submitted by Youssi Investments of Iowa, LLC. (Case 22-046)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Youssi Investments of Iowa, LLC has submitted a final plat of the southeast portion of the preliminary plat of Forest Grove Crossing Addition located east of Forest Grove Crossing Fourth Addition and south of the Villas at Forest Grove Crossing Second Addition (see Zoning Map, Future Land Use Map, and Preliminary Plat - Attachments A, B, and C). The proposed final plat, Forest Grove Crossing Sixth Addition, will provide an area for single-family detached homes and townhomes on lots compliant with the existing UMI zoning. Lots 10-21 are designated for 4-plex townhomes, Lots 1-9 are reserved for single-family detached homes, and Lot 34 is reserved for commercial development (see Proposed Final Plat - Attachment D).

The UMI Future Land Use designation governs the site and allows for the UMI zoning classification. Single-family homes, townhomes, and commercial developments are permitted in this zoning district classification. The proposed development supports two goals within the comprehensive plan as follows:

- Goal D Provide Housing Options and Reinvest in Existing Neighborhoods, and
- Goal C: Attract and Retain Business and Industry of the City's Comprehensive Plan.

The Planning and Zoning Commission made a recommendation for approval of the final plat by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Zoning Map; (B) Future Land Use Map; (C) Forest Grove Crossing Preliminary Plat; (D) Forest Grove Crossing Sixth Addition Final Plat; (E) Staff report to the Planning and Zoning Commission; (F) Planning and Zoning Commission report to the Mayor and City Council; (G) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION NO. \_\_\_\_\_ - 22**

**RESOLUTION APPROVING THE FINAL PLAT OF  
FOREST GROVE CROSSING SIXTH ADDITION**

WHEREAS, Youssi Investments of Iowa, LLC has submitted the final plat of Forest Grove Crossing Sixth Addition, and

WHEREAS, the Planning and Zoning Commission has reviewed said final plat and recommended approval of it, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the final plat of Forest Grove Crossing Sixth Addition subject to the following conditions:

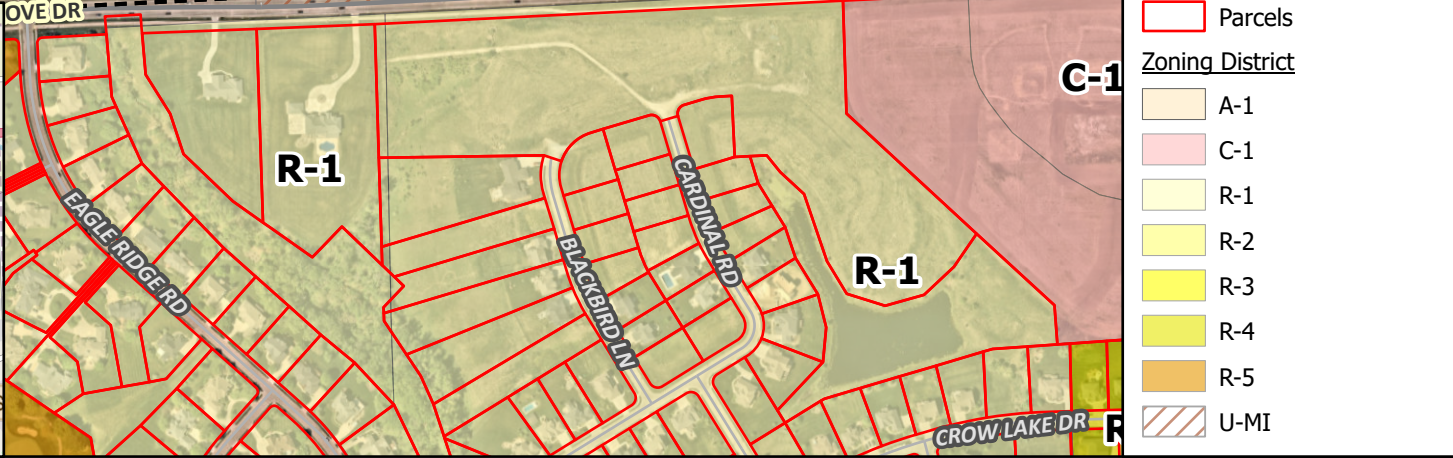
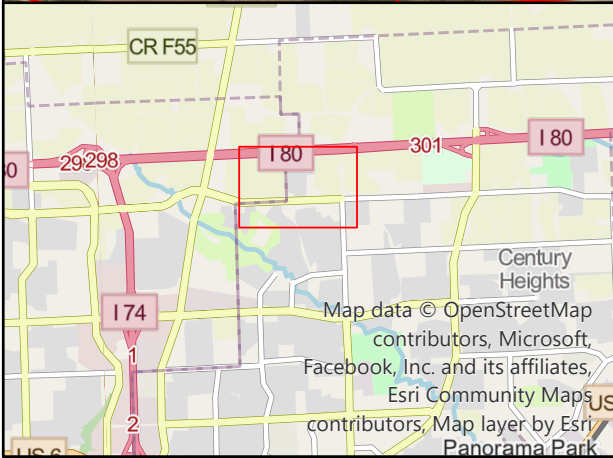
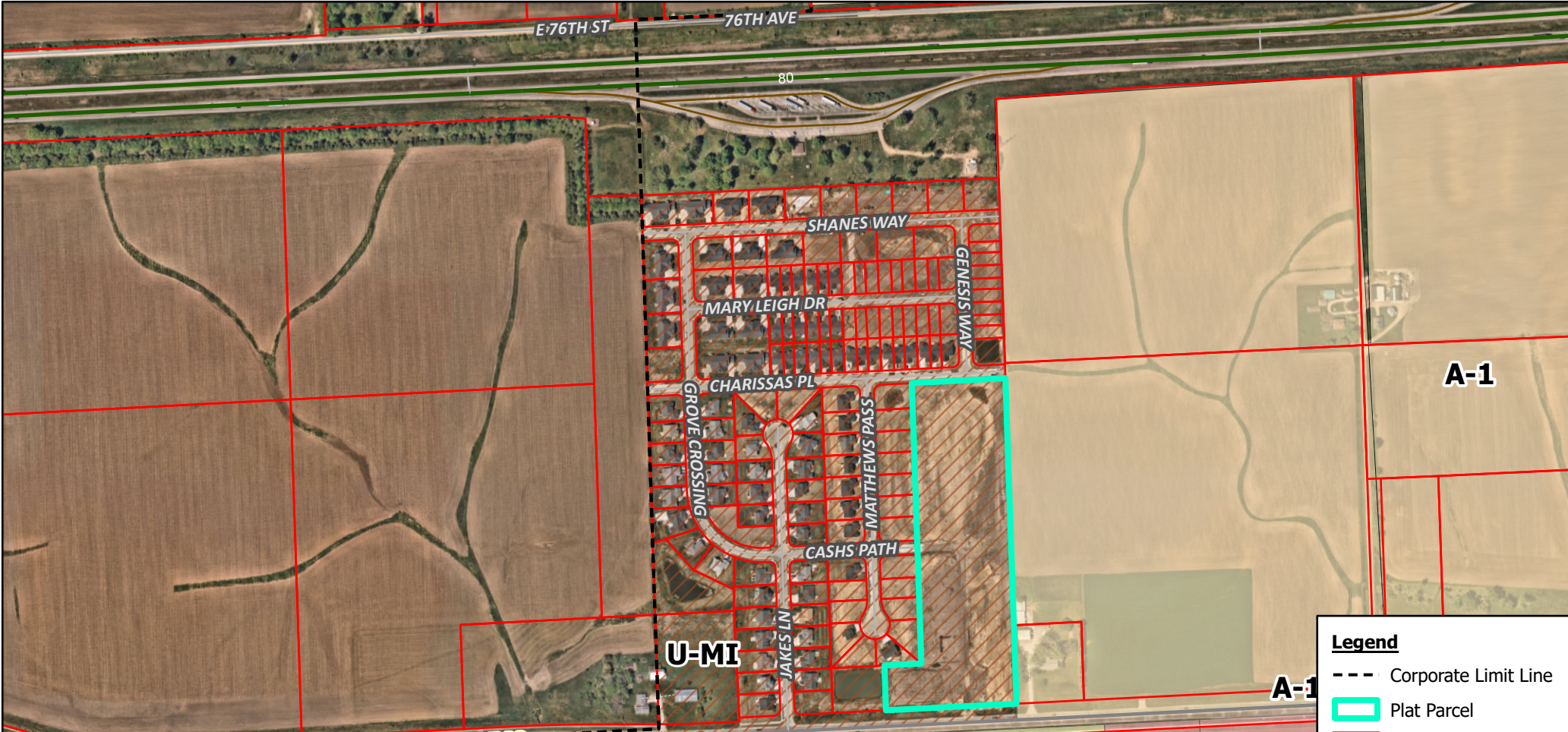
1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Sanitary sewer must connect to the undeveloped ground further east.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



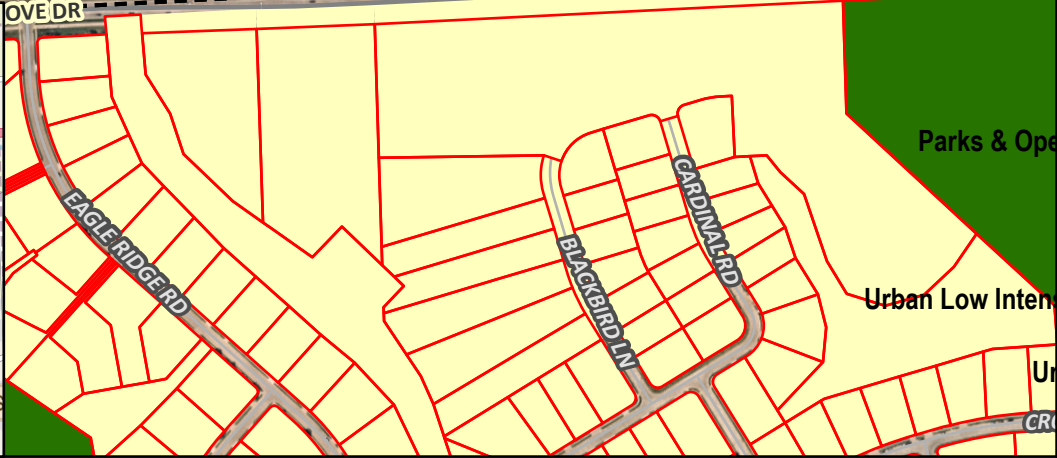
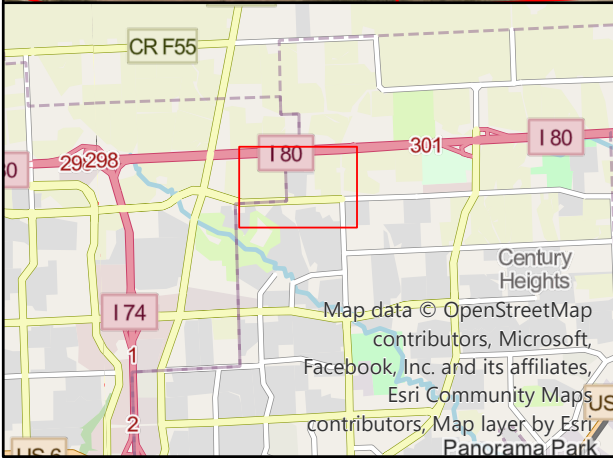
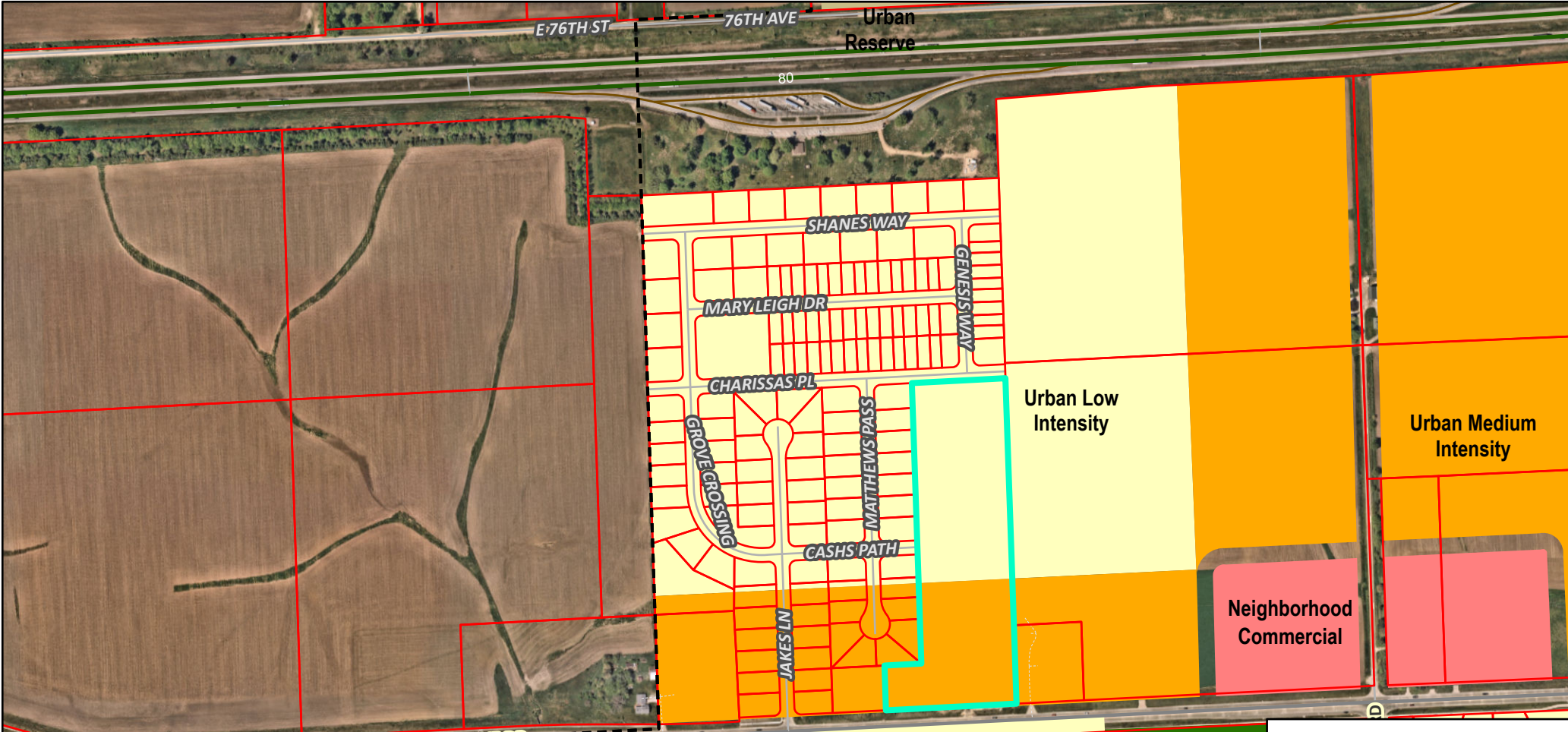
**Legend**

- Corporate Limit Line
- Plat Parcel
- Parcels

**Zoning District**

- A-1
- C-1
- R-1
- R-2
- R-3
- R-4
- R-5
- U-MI

1 Inch = 539 Feet



**Legend**

- - - Corporate Limit Line
- Plat Parcel
- Parcels

**Future Land Use**

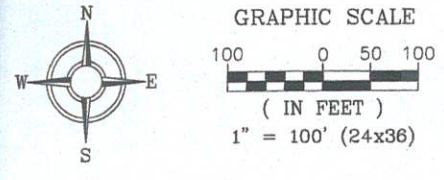
- Neighborhood Commercial
- Parks & Open Space
- Urban Medium Intensity
- Urban Low Intensity
- Urban Reserve

# PRELIMINARY PLAT

ATTACHMENT C

## FOREST GROVE CROSSING

BEING PART OF THE WEST HALF OF THE NORTHWEST QUARTER  
SECTION 3, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.  
CITY OF BETTENDORF, SCOTT COUNTY, IOWA



### NOTES:

- MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
- COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
- THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.
- ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
- THE SUBJECT PROPERTY WILL BE ZONED UMI: URBAN MEDIUM INTENSITY AT THE TIME OF ACCEPTANCE BY THE CITY. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- NO PORTION OF THE SUBDIVISION ARE LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAPS #19163C0376F AND 19163C0378F, EFFECTIVE DATE FEBRUARY 18, 2011.
- LOTS 1-67 AND LOTS 69-92 SHALL BE DESIGNATED FOR SINGLE FAMILY USE (R-2).
- LOTS 94-139 SHALL BE DESIGNATED FOR MULTI-FAMILY USE (R-4).
- LOTS 68 AND 93 SHALL BE DESIGNATED FOR NEIGHBORHOOD COMMERCIAL USE.
- OUTLOT A SHALL BE DESIGNATED FOR STORM WATER DETENTION AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.

### SURVEYOR'S FINAL PLAT CERTIFICATE

I, MICHAEL D. RICHMOND, AN IOWA PROFESSIONAL LAND SURVEYOR NO. 23503, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF IOWA, DO HEREBY CERTIFY THAT THIS FINAL PLAT OF FOREST GROVE CROSSING TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE BY ME OR UNDER MY DIRECTION AND ACCORDING TO THE LAWS OF THE STATE OF IOWA AND THE CITY OF BETTENDORF SUBDIVISION ORDINANCE, OF THE FOLLOWING DESCRIBED PROPERTY, TO WIT:

PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th PRINCIPAL MERIDIAN, CITY OF BETTENDORF, COUNTY OF SCOTT, STATE OF IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE WEST HALF OF SAID NORTHWEST QUARTER;  
THENCE NORTH 01° 57' 21" WEST ALONG THE EAST LINE OF SAID WEST HALF OF THE NORTHWEST QUARTER, A DISTANCE OF 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF FOREST GROVE ROAD, SAID POINT BEING THE POINT OF BEGINNING OF THE TRACT OF LAND HEREINAFTER DESCRIBED;  
THENCE NORTH 01° 57' 21" WEST ALONG SAID EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER, A DISTANCE OF 1945.11 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE 80;  
THENCE SOUTH 87° 12' 14" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 1323.44 FEET TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 3;  
THENCE SOUTH 01° 52' 50" EAST ALONG SAID WEST SECTION LINE, A DISTANCE OF 1551.79 FEET TO THE NORTH LINE OF A TRACT OF LAND CONVEYED TO THE ROBERT A. AND ELAINE M KUEHL REVOCABLE TRUST ON OCTOBER 16, 2006 AND FILED FOR RECORD IN THE OFFICE OF THE SCOTT COUNTY RECORDER AS DOCUMENT #2006-32555;  
THENCE NORTH 87° 07' 43" EAST ALONG SAID NORTH LINE, A DISTANCE OF 300.02 FEET TO THE NORTHEAST CORNER OF SAID TRACT;  
THENCE SOUTH 01° 43' 46" EAST ALONG THE EAST LINE OF SAID TRACT, A DISTANCE OF 395.19 FEET TO THE NORTH RIGHT-OF-WAY LINE OF FOREST GROVE ROAD;  
THENCE NORTH 87° 07' 25" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 286.03 FEET;  
THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE NORTH 87° 07' 33" EAST, A DISTANCE OF 741.02 FEET TO THE POINT OF BEGINNING. CONTAINING 56.458 ACRES, MORE OR LESS.

MONUMENTS SHOWN ON THIS PLAT HAVE BEEN SET OR WILL BE SET WITHIN 30 DAYS OF COMPLETION OF THE REQUIRED IMPROVEMENTS AND THEIR ACCEPTANCE BY THE CITY OF BETTENDORF, AND SUCH MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED AND OCCUPY THE POSITIONS SHOWN THEREON.

GENERAL LEGEND:			
	EASEMENT		EXISTING GAS VALVE
	SETBACK LINE		EXISTING WATER VALVE
	CONTOUR LINE		EXISTING UTILITY POLE
	PROPERTY BOUNDARY		EXISTING LIGHT POLE
	EXISTING FENCE		EXISTING TREE
	EXISTING SANITARY		EXISTING BUSH
	PROPOSED SANITARY		EXISTING MANHOLE
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT
	PROPOSED STORM SEWER		FOUND PROPERTY PIN
	EXISTING WATER		CONTROL POINT
	PROPOSED WATER		
	EXISTING GAS LINE		
	EXISTING ELECTRIC		
	EXISTING CONTOUR LINE		SPOT ELEVATION TOP OF CURVE
	PROPOSED CONTOUR LINE		SPOT ELEVATION TOP OF RIGHT OF WAY
			SPOT ELEVATION GENERAL
			PROPOSED FLOOD ELEVATION

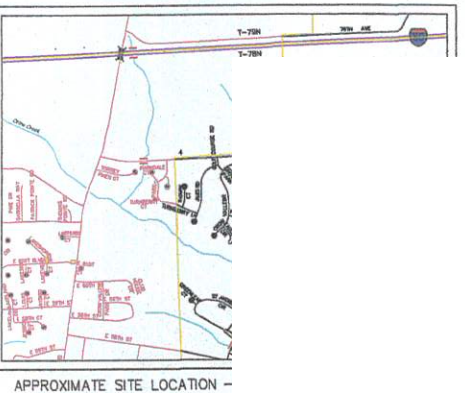
Single Family Sublots			
Front	Rear	Side	
25'	25'	Min 5' w/Total Of 15'	

Commercial Sublots			
Front	Rear	Side	
20'	20'	Min 5' w/Total Of 15'	

Chord Table					
Chord #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Bearing
0.0000	35.86	147° 22' 33"W			
0.0004	35.05	54° 23' 27"W			
0.0092	35.06	142° 38' 57"E			
0.0409	35.64	147° 21' 03"W			
0.0900	35.66	54° 22' 53"E			
0.0094	35.05	142° 32' 27"E			
0.0540	35.07	54° 35' 11"W			
0.0154	35.64	147° 24' 49"W			
0.0930	13.14	107° 55' 26"W			
0.0930	13.14	52° 40' 44"W			
0.2854	45.84	102° 33' 10"E			
0.4624	33.95	102° 07' 03"W			
0.5622	44.01	160° 35' 35"W			
0.5559	43.17	58° 19' 59"W			
0.5555	35.70	51° 12' 33"W			
0.5216	45.01	52° 58' 52"E			
0.0154	35.64	54° 24' 49"E			
0.0540	35.07	142° 35' 11"E			
0.0154	35.64	147° 24' 49"W			
0.0930	35.07	54° 35' 11"W			

Curve Table					
Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Bearing
C01	38.870	25.000	089.0245	35.07	S42° 35' 11"
C02	38.870	25.000	050.9154	35.64	S47° 24' 49"
C03	38.870	25.000	089.0245	35.07	N42° 33' 11"
C04	38.899	25.000	050.9154	35.64	N47° 24' 49"
C05	49.225	51.500	055.8255	45.48	N03° 09' 14"
C06	13.597	15.000	051.9000	13.14	S24° 02' 44"
C07	35.748	51.500	039.7115	35.04	N03° 33' 21"
C08	43.825	51.500	042.5120	42.31	N62° 41' 54"
C09	43.261	51.500	048.1255	42.30	S53° 55' 47"
C10	37.738	51.500	041.5845	36.30	S10° 52' 21"
C11	46.550	51.500	051.8216	45.01	S27° 59' 51"
C12	13.597	15.000	051.9000	13.14	N27° 59' 51"
C13	13.567	15.000	051.5300	13.14	S27° 59' 51"
C14	13.597	15.000	051.9300	13.14	N24° 09' 44"
C15	33.826	51.500	037.6132	33.20	S31° 19' 27"
C16	51.208	51.500	051.0377	49.10	S10° 09' 00"
C17	42.502	51.500	047.2951	41.31	S89° 18' 44"
C18	43.410	51.500	048.2952	42.34	N03° 57' 44"
C19	52.000	51.500	057.8564	49.82	N10° 49' 11"
C20	32.183	51.500	035.7823	31.64	N80° 09' 00"

### SITE LOCATION MAP



TYPICAL R.O.W. WIDTH = 52'

Area of Subdivision:  
Gross Area: 56.458 Acres

**BOUNDARY LEGEND**  
DEED DIMENSION = ( )  
FIELD DIMENSION = ( )  
MONUMENTS FOUND = ( )  
#5 REBAR, UNLESS NOTED OTHERWISE  
MONUMENTS SET:  
#5 REBAR W/ YELLOW PAINT  
BOUNDARY LINE = ( )  
ROAD CENTER LINE = ( )  
EASEMENT LINE = ( )  
SETBACK LINE = ( )  
SECTION LINE = ( )

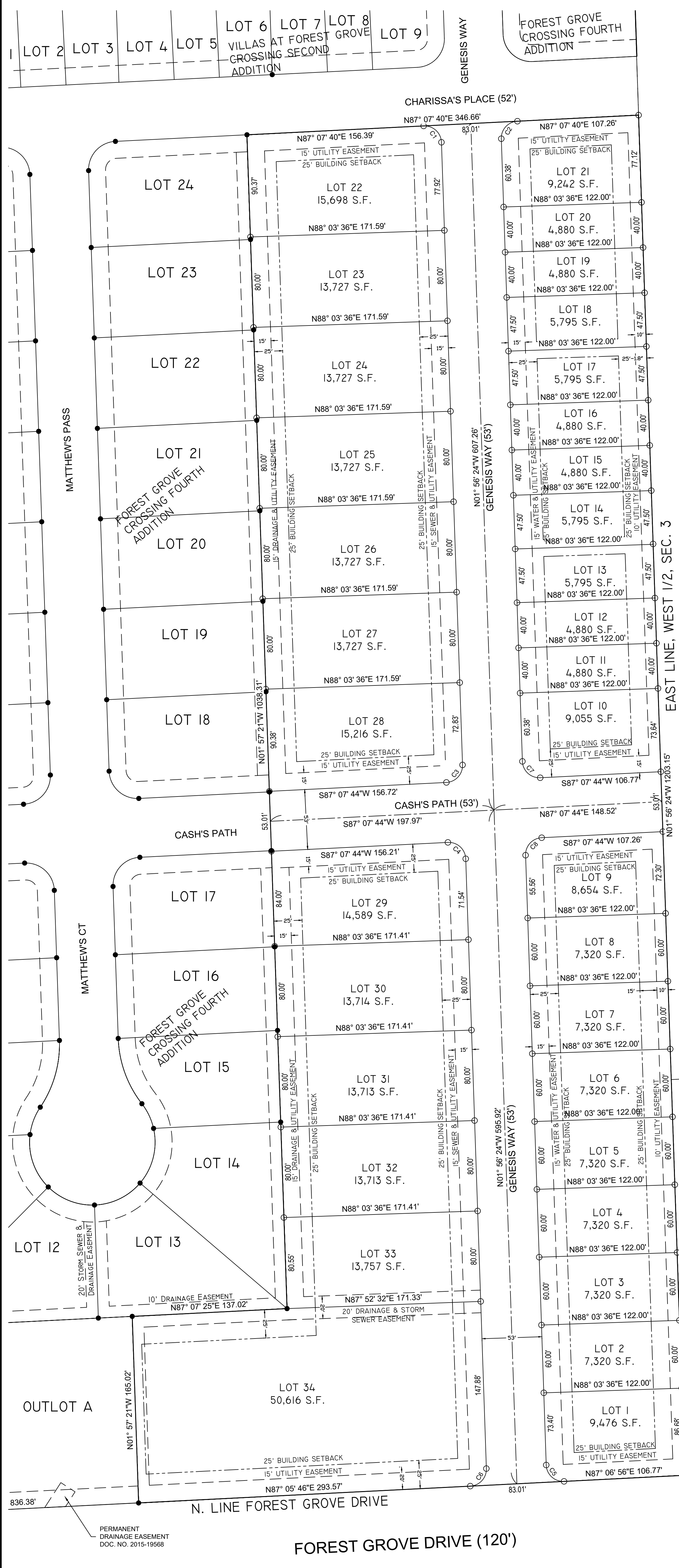
THE RELATED SURVEY WORK WAS PERFORMED UNDER MY PERSONAL SUPERVISION AND THAT I AM A LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL D. RICHMOND  
Iowa License Number 23503  
My license is valid until December 31, 2011.  
Pages or sheets covered by this seal:

FINAL PLAT

FOREST GROVE CROSSING SIXTH ADDITION

PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M. CITY OF BETTENDORF, SCOTT COUNTY, IOWA



NOTES:

- MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.
ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.
"UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER, SANITARY SEWER AND COMMUNICATION LINES AS NEEDED.
BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
THE SUBJECT PROPERTY WILL BE ZONED UMI: URBAN MEDIUM INTENSITY AT THE TIME OF ACCEPTANCE BY THE CITY. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
NO PORTION OF THE SUBDIVISION ARE LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAPS #19163C0376F AND 19163C0378F, EFFECTIVE DATE FEBRUARY 18, 2011.
LOTS 1-9 SHALL BE DESIGNATED AS DETACHED SINGLE FAMILY VILLA LOTS.
LOTS 10-21 SHALL BE DESIGNATED AS VILLA LOTS FACILITATING 4-PLEX BUILDINGS WITH ZERO SIDE SETBACKS AT PARTY WALLS.
LOTS 22-33 SHALL BE DESIGNATED FOR SINGLE-FAMILY HOMES.
LOT 34 SHALL BE DESIGNATED AS A COMMERCIAL LOT.
OUTLOT A IN FOREST GROVE CROSSING 1st ADDITION AND OUTLOT B IN FOREST GROVE CROSSING 4th ADDITION SHALL BE DESIGNATED FOR STORM WATER DETENTION PURPOSES AND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLANTED.

APPROVAL SIGNATURES:

Table with columns for MAYOR, CITY CLERK, CHAIRMAN PLAN & ZONE, CENTURY LINK, IOWA - AMERICAN WATER COMPANY, MEDIACOM, METRONET, MIDAMERICAN ENERGY, and DATE.

Curve Table with columns: Curve #, Length (ft), Radius (ft), Delta, Chord Length (ft), Chord Direction. Lists curves C1 through C8.

PLAT INFORMATION

- 1. Owner: Youssi Investments of Iowa, LLC
2. Engineer: Townsend Engineering
3. Surveyor: Michael D. Richmond
4. Attorney: Tom Pastrnak

BOUNDARY LEGEND:

- DEED DIMENSION = (0.00')
FIELD DIMENSION = 0.00'
MONUMENTS FOUND
#5 REBAR, UNLESS NOTED = ●
MONUMENTS SET:
#5 REBAR W/ YELLOW CAP #23503 = ○
BOUNDARY LINE = \_\_\_\_\_
ROAD CENTER LINE = \_\_\_\_\_
EASEMENT LINE = \_\_\_\_\_
SETBACK LINE = \_\_\_\_\_
SECTION LINE = \_\_\_\_\_

Surveyor seal for Michael D. Richmond, Iowa License Number: 23503, dated December 31, 2023.

Multi-Family Setbacks table with columns: Front, Rear, Side and values: 25', 25', Min: 5' w/Total Of 15'

Area of Subdivision:
Gross: 10.089 Acres ±
R.O.W.: 1.830 Acres ±
Lots 1-34 8.259 Acres ±



DATE: 7/12/2022
TE PROJECT NO: YOUSSI-FG
563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: MDR
CHECKED BY: CRT
DRAWN BY:

Revisions table with columns: NO., DESCRIPTION, DATE. Shows revision 1.

PROJECT: FOREST GROVE CROSSING 6th FOREST GROVE DRIVE BETTENDORF, IA 52722

DEVELOPER: YOUSSI INVESTMENTS OF IOWA, LLC. 2776 HAMSON WAY BELVIDERE, IL 61008

SHEET NO. 1 OF 1



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 20, 2022

Staff Report

### Case No. 22-046

Location: Forest Grove Crossing Sixth Addition – Final Plat

Applicant: Youssi Investments of Iowa, LLC.

Current Zoning Classification: UMI - Urban Medium Intensity

Future Land Use Designation: UMI – Urban Medium Intensity

### Background Information and Facts

Youssi Investments of Iowa, LLC has submitted a final plat of the southeast portion of the preliminary plat of Forest Grove Crossing Addition located east of Forest Grove Crossing Fourth Addition and south of the Villas at Forest Grove Crossing Second Addition (see Zoning Map, Future Land Use Map, and Preliminary Plat - Attachments A, B, and C). The proposed final plat, Forest Grove Crossing Sixth Addition, will provide an area for single-family detached homes and townhomes on lots compliant with the existing UMI zoning. Lots 10-21 are designated for 4-plex townhomes, Lots 1-9 are reserved for single-family detached homes, and Lot 34 is reserved for commercial development (see Proposed Final Plat - Attachment D).

### Future Land Use and Comprehensive Plan

The UMI Future Land Use designation governs the site and allows for the UMI zoning classification. Single-family homes, townhomes, and commercial developments are permitted in this zoning district classification. The proposed development supports two goals within the comprehensive plan as follows:

- Goal D Provide Housing Options and Reinvest in Existing Neighborhoods, and
- Comprehensive Plan and Goal C: Attract and Retain Business and Industry of the City's Comprehensive Plan.

### Utilities

Utilities are available along Forest Grove Drive and have been extended throughout various Forest Grove Crossing additions. Water service and electrical will originate along Forest Grove Drive. All utilities have been extended to these lots through adjoining additions to the eastern portion of the overall site. It is the responsibility of the developer to connect to

all utilities. Sanitary sewer will come from available connections to the west and will be stubbed through Forest Grove Sixth Addition further to the east.

#### Thoroughfare, Emergency & Pedestrian Access

Genesis Way will originate from Forest Grove Drive as the main north-south access point. Cash's Path and Charissa's Place will intersect with Genesis Way. Genesis Way is one of two entryways from Forest Grove Drive for the entire group of subdivisions.

#### Storm Water Detention

Storm water detention is required and has been approved by the City Engineer. Storm water detention must be accommodated for all development within the proposed subdivisions. Outlot A, located in the southern portion of Forest Grove Crossing Fourth Addition, will provide storm water detention.

#### Recommended Action

Staff recommends approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Sanitary sewer must connect to the undeveloped ground further east.

Respectfully submitted,

Greg Beck  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Forest Grove Crossing Sixth Addition, submitted by Youssi Investments of Iowa, LLC. (Case 22-046)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named final plat.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

9. Case 22-046; Forest Grove Crossing Sixth Addition, submitted by Youssi Investments of Iowa, LLC.

Beck reviewed the staff report. Hunt commented that staff had worked with the applicant to ensure that the pattern of development is consistent with the other subdivisions in the area that were included in this preliminary plat.

Wennlund asked if a buffer is required between the single-family lots and the north side of the commercial lot. Beck stated that once a use is identified, he will match it to a traditional zoning district to determine the required buffer. Hunt added that it was logical to combine the two commercial lots as shown on the preliminary plat into one larger lot to provide enough space for the required buffer.

Ormsby asked what type of business would be allowed to be located on Lot 34. Beck explained that there is a permitted use table for the UMI district in the ordinance. Hunt commented that a site development plan will be required regardless of the future use.

On motion by Ormsby, seconded by Adam, that the final plat of Forest Grove Crossing Sixth Addition be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**MEETING DATE:** August 1/2, 2022  
**REQUESTED BY:** Mark Hunt

**COUNCIL LETTER**

**ITEM TITLE:** Resolution approving a site development plan for 3340 Utica Ridge Road, submitted by Craig Shannon. (Case 22-036)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Craig Shannon has submitted a site development plan for 3340 Utica Ridge Road (see Future Land Use Map and Zoning Map - Attachments A and B). A portion of Lot 15, Summit Hills Commercial Park is the location of an existing office building and is proposed for use as a day care facility (see Final Plats - Attachments C, D, and E). The site development plan shows the addition of the outdoor recreation area on the west side of the building (see Site Development Plan - Attachment F). The fenced area will act as an outdoor secured play area for children. A 4-foot high chain link fence will serve as a barrier (see Fence Example - Attachment G). Parking requirements for the site were calculated for the intended uses at the site, minus the parking lost due to the building of the outdoor recreational space.

The future land use designation for the site is Urban Medium Intensity, and it is zoned C-6, Office and Research Park District which requires a Special Use Permit for the proposed day care (general). The development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry of the City's Comprehensive Plan.

The Planning and Zoning Commission made a recommendation for approval of the site development plan by a 7-0 margin at the June 15, 2022 meeting.

A special use permit to allow the day care center was granted by the Board of Adjustment at their July 14, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Future Land Use Map; (B) Zoning Map; (C) Summit Hills Commercial Park Final Plat; (D) Utica Hills Point Final Plat; (E) Lot 15, Summit Hills Commercial Park Plat of Survey; (F) Site Development Plan; (G) Fence Example (H) Staff report to the Planning and Zoning Commission; (I) Planning and Zoning Commission report to the Mayor and City Council; (J) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION APPROVING A SITE DEVELOPMENT PLAN FOR  
3340 UTICA RIDGE ROAD**

WHEREAS, Craig Shannon has submitted a site development plan for 3340 Utica Ridge Road, and

WHEREAS, the Planning and Zoning Commission has reviewed said site development plan and recommended approval of it, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves a site development plan for 3340 Utica Ridge Road subject to the following conditions:

1. Approval of the site development plan does not waive any other state, federal, or local government provisions as required by law.
2. A fence permit is required to be issued by the Building Department prior to installation of the fence around the recreation area.

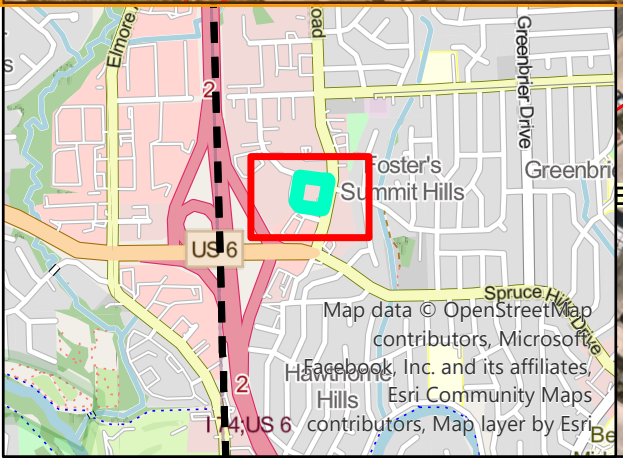
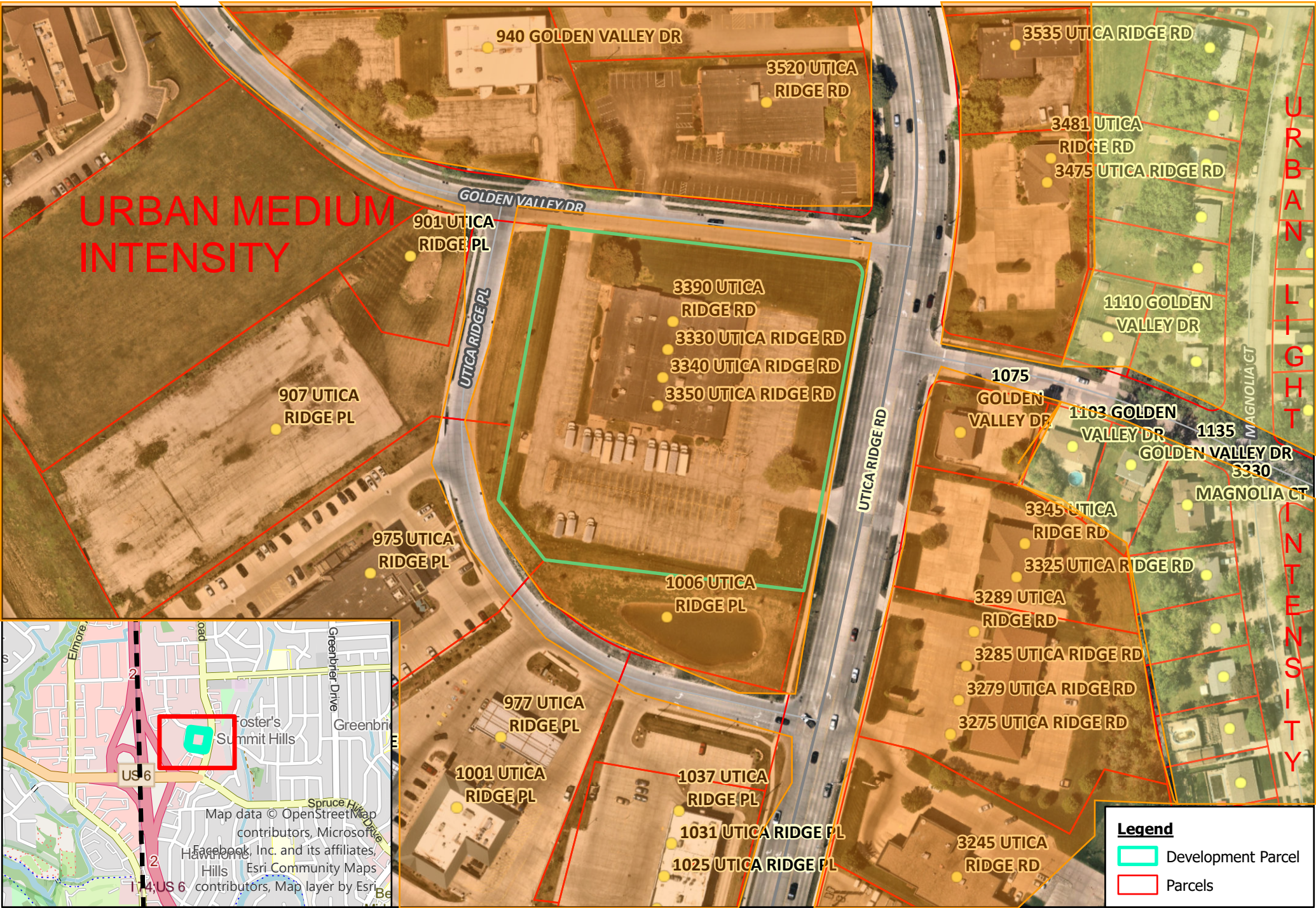
PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

1 Inch = 141 Feet

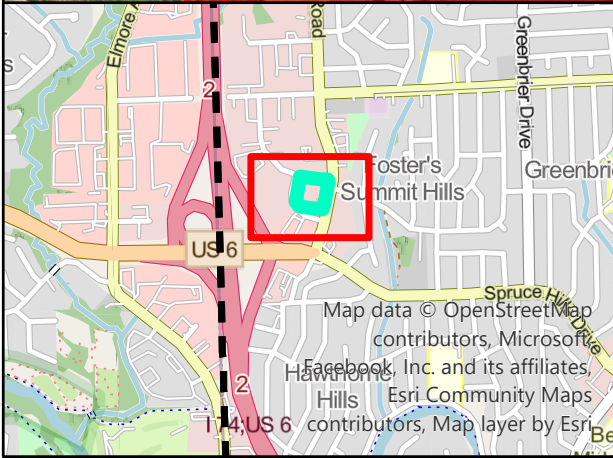
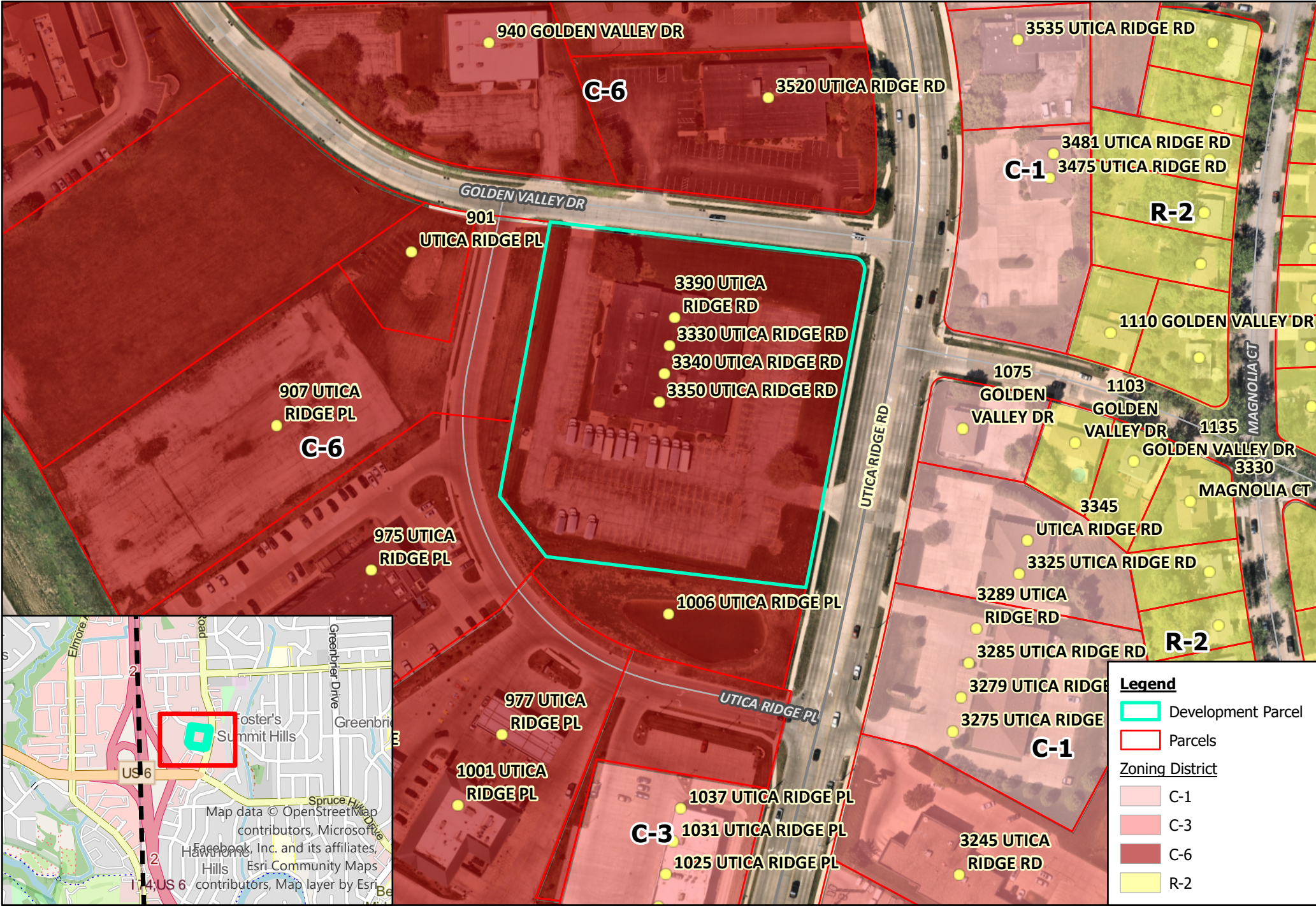


**Legend**

- Development Parcel
- Parcels

# Case 22-036: 3340 Utica Ridge Road Site Development Plan: Day Care Zoning

1 Inch = 141 Feet

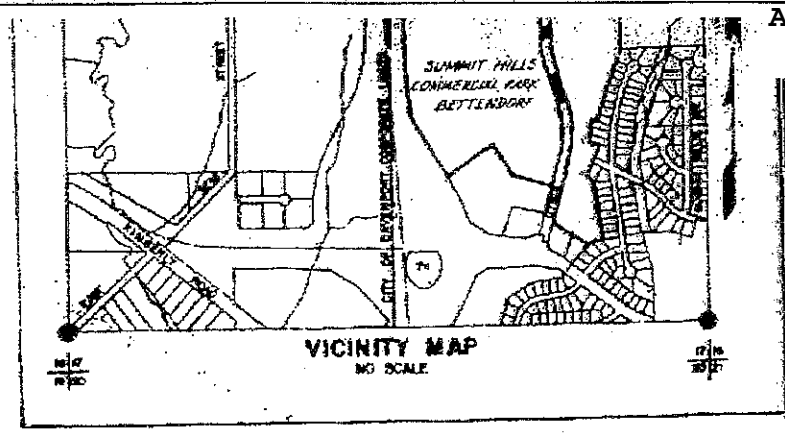


**Legend**

- Development Parcel
- Parcels

**Zoning District**

- C-1
- C-3
- C-6
- R-2



S CURVE DATA

	A	R	T	A	D
1	3° 09'	8424.51' (2024.94')	100.00'	135.92' (100.54')	1.575°
2	30° 36'	738.55' (223.86')	200.00'	390.35' (326.47')	7.210°
3	17° 54' 20" (17° 28')	435.36' (440.03')	100.00'	198.37' (188.399')	2.018° (2.946°)
4	83° 56' 40"	327.40'	100.00'	194.11'	17.500°
5	47° 02'	501.49'	220.00'	414.66'	11.420°

- NOTES:
- 1) All distances are shown in feet and decimal parts thereof.
  - 2) "A" stands for Arc distance.
  - 3) 5/8" x 36" rebar shown thus  $\ominus$
  - 4) 6" x 5" x 36" concrete monument w/5/8" rebar shown thus  $\oplus$
  - 5) P.O.M. nail found shown thus  $\bullet$
  - 6) Description point shown thus  $\circ$
  - 7) Centerline of 1-74 was assumed to bear N. 03° 10' W. for this plat.
  - 8) Distances and bearings shown in parenthesis are from deed description.
  - 9) Blanket underground easements granted for all electric, transformers, gas, telephone, cable T.V., water & street lighting and all primary & secondary electric cables and gas mains and sewer laterals.
  - 10) Existing overhead utilities to remain along Tanglefoot Lane.
  - 11) Sidewalks to be constructed along the West side of Urica Ridge Road, along the North and East side of Golden Valley Drive, and the South side of Tanglefoot Lane between Urica Ridge Rd. and Golden Valley Drive.

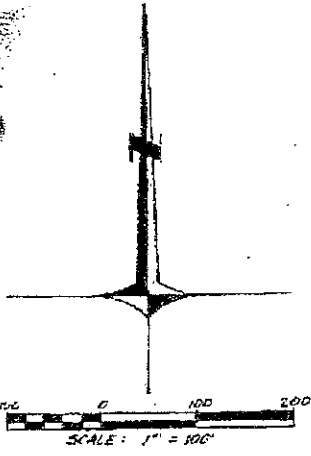
CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS PLAT, MAP, SURVEY OR REPORT WAS MADE BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
*Dale E. Christensen* DATE: 5/24/76  
 DALE E. CHRISTENSEN I.P. REG. 15493

**PRELIMINARY & FINAL PLAT OF  
 SUMMIT HILLS COMMERCIAL PARK  
 BETTENDORF**

AN ADDITION TO THE CITY OF BETTENDORF, IOWA  
 PART OF THE 6E.1/4 OF SEC. 17-78-4

OWNER & DEVELOPER: SUMMIT HILLS INC.  
 & MEL FORSTER CO.  
 DAVENPORT, IOWA

36.994 AC.



PLAN & ZONE COMMISSION  
 BY *William E. [Signature]*  
 DATE 5/24/76

CITY OF BETTENDORF, IOWA  
 BY *William E. [Signature]*  
 DATE 9/23/76

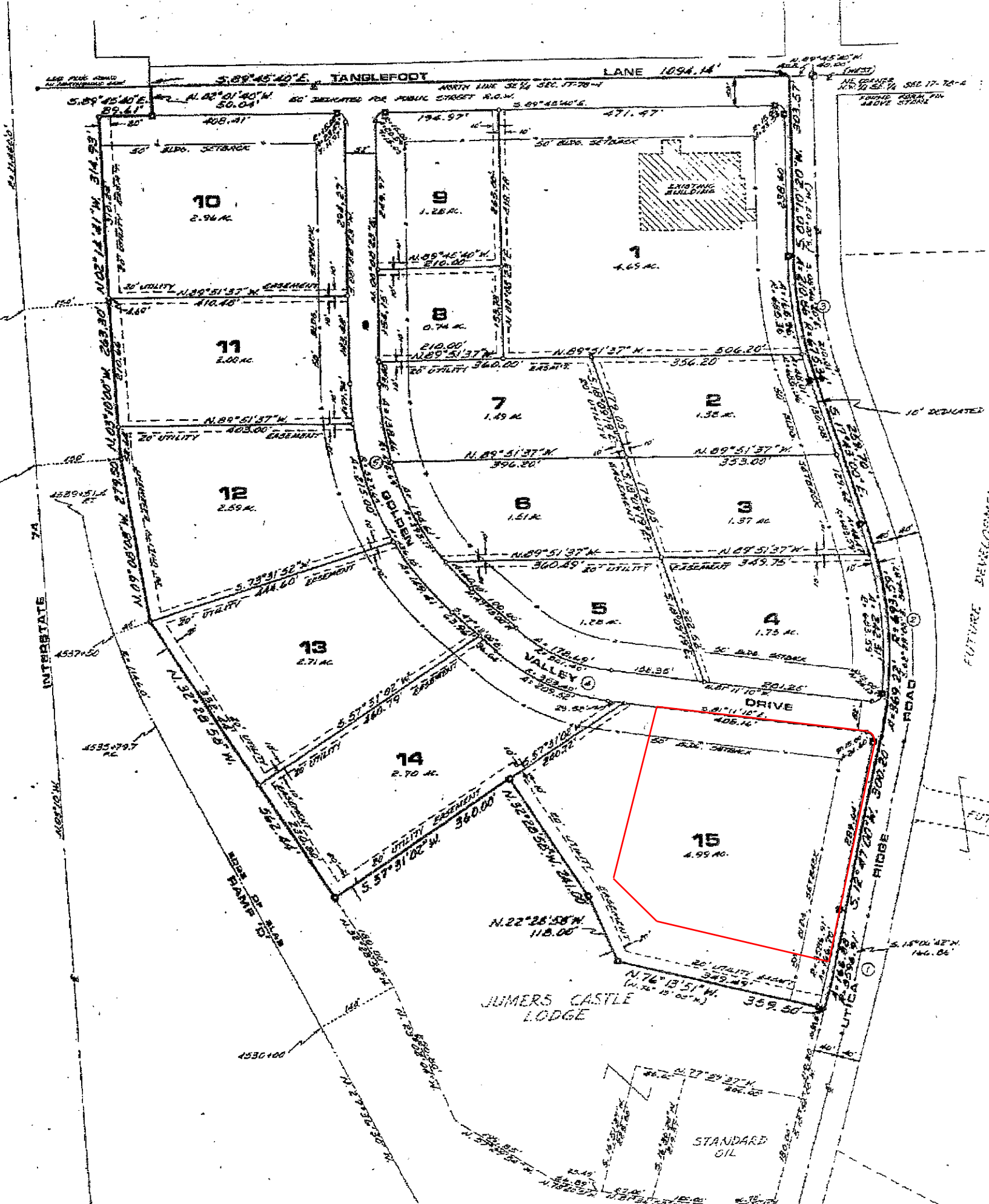
ATTTEST *[Signature]*

N.W. BELL TELEPHONE CO.  
 BY *W.C. [Signature]*  
 DATE 6/17/76

DAVENPORT WATER CO.  
 BY *[Signature]*  
 DATE 6-20-76

A-ILL GAS & ELECTRIC CO.  
 BY *[Signature]*  
 DATE 6-24-76

APPROVAL SUBJECT TO EXEMPTIONS  
 REQUIRED BY I.A.M. GAS & ELECT. CO.



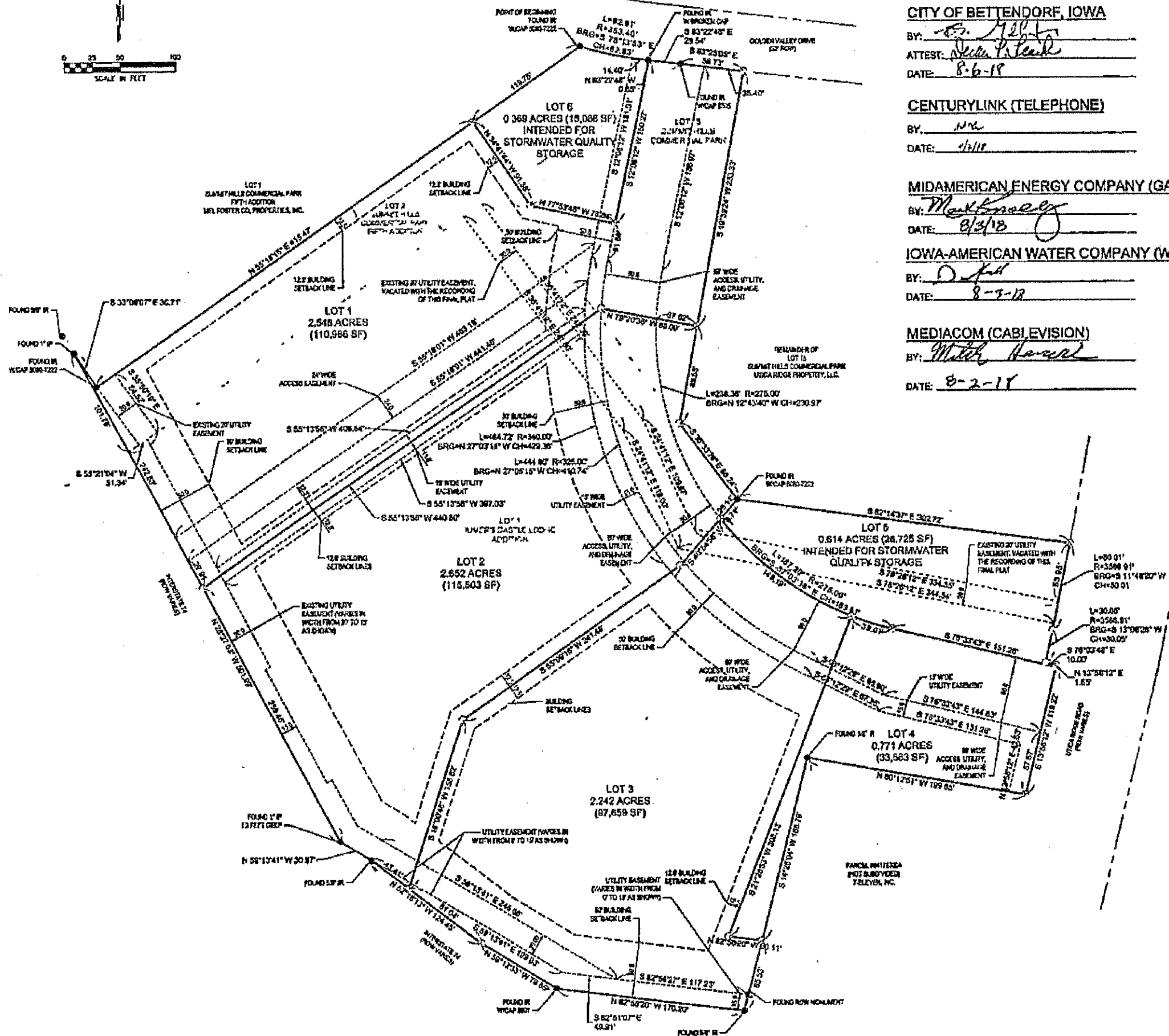
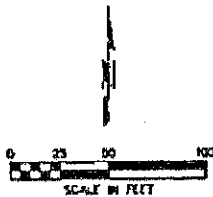
**GOLLEHON, SCHEMME & ASSOCIATES, INC.**  
 ARCHITECTS • ENGINEERS • PLANNERS  
 OMAHA • DAVENPORT • ORLANDO

REVISIONS

DATE	REVISIONS
6-17-76	ADDED DIMENSIONS
6-17-76	ADDED DIMENSIONS
6-17-76	ADDED DIMENSIONS
6-17-76	ADDED DIMENSIONS
6-17-76	ADDED DIMENSIONS

DESIGNED *[Signature]* CHECKED *[Signature]*  
 DRAWN *[Signature]* DATE 5-24-76  
 TRACED *[Signature]* JOB NO. 885-1

PREPARED BY & RETURN TO SHIVE-HATTERY, INC., 1701 RIVER DRIVE, SUITE 200, MCLINE, IL 61265



PLANNING & ZONING COMMISSION

BY: *R. H. ...*  
DATE: 8-3-18

CITY OF BETTENDORE, IOWA

BY: *E. ...*  
ATTEST: *Debra ...*  
DATE: 8-6-18

CENTURYLINK (TELEPHONE)

BY: *N/A*  
DATE: *1/1/18*

MIDAMERICAN ENERGY COMPANY (GAS/ELECTRIC)

BY: *Mark ...*  
DATE: 8/3/18

IOWA-AMERICAN WATER COMPANY (WATER)

BY: *D. ...*  
DATE: 8-9-18

MEDIACOM (CABLEVISION)

BY: *Walter ...*  
DATE: 8-2-18

# FINAL PLAT

FOR

## UTICA HILLS POINT

TO THE CITY OF BETTENDORE, IOWA

(BEING A REPLAT OF LOT 1 OF JAMES'S CASTLE LODGE ADDITION AND LOT 2 OF SUMMIT HILLS COMMERCIAL PARK FIFTH ADDITION, AND A PART OF LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION, IN THE CITY OF BETTENDORE, SCOTT COUNTY, IOWA)

OWNER/DEVELOPER

CDCQC, LLC.  
4500 E. 53RD STREET  
DAVENPORT, IA 52807

FLOOD ZONE

THIS PARCEL IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD ZONE) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP, MAP NUMBER 19183C0387F, DATED FEBRUARY 18, 2011.

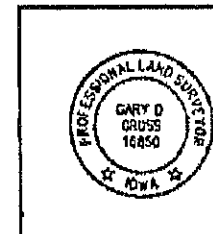
ZONING

1. THIS PARCEL IS ZONED D-6 OFFICE AND RESEARCH PARK DISTRICT.
2. SETBACKS: FRONT = 60'  
REAR = 50'  
SIDE = LEAST SIDE 10'; SUM OF 2 SIDES 25'

LEGEND	
SURVEY	
●	IRON ROD - FOUND
○	IRON ROD - NOT FOUND
⊕	POINT OF IRON MARKER
FOR	POINT OF BEGINNING

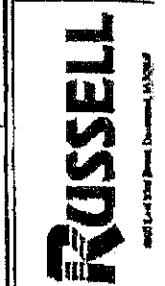
SURVEYOR'S NOTES

1. THIS SUBDIVISION CONTAINS 9.194 ACRES MORE OR LESS.
2. IN A RESURVEY OF SAID PROPERTY AS NOW MONUMENTED AND USED, I FIND THE PRESENT MEASUREMENTS DIFFER FROM THE DIMENSIONS SHOWN ON FORMER PLATS, DESCRIPTIONS, AND CONVEYANCES, WHICH ACCOUNTS FOR THE DIFFERENCES SHOWN ON THIS SURVEY.
3. SIDEWALKS WILL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES. INSTALLATION OF SIDEWALKS SHALL OCCUR WHEN THE ADJUTING PROPERTY (LOT) IS DEVELOPED OR WHEN SO ORDERED BY THE CITY.
4. ALL LENGTHS SHOWN ON CURVES ARE ARC LENGTHS UNLESS SHOWN OTHERWISE.
5. THE EASEMENTS SHOWN ON THIS PLAT ARE TO BE DEDICATED WITH THE PLATTING OF UTICA HILLS POINT ADDITION.
6. OWNERS OF LOTS 1, 2, 3, & 4 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORM WATER FACILITIES LOCATED IN LOTS 5 & 6 IN THE ACCESS, UTILITY AND DRAINAGE EASEMENT.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE HILLS POINT SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
SURVEYOR: *Gary D. Gross*  
NAME: GARY D. GROSS  
DATE: 8-7-2018  
BY LEGAL INSTRUMENT DATED IN RECORD 3, 1981  
PAGE THREE (3) OF THREE (3) COVERED BY 145 845 (112)

SHIVEHATTERY ARCHITECTURE-ENGINEERING  
1701 River Drive, Suite 200 | Moline, Illinois 61265  
309.742.7883 | www.shivehattery.com  
Lynn J. Shive | L. Shive | L. Shive



FINAL PLAT OF UTICA HILLS POINT  
RUSSELL CONSTRUCTION CO.

DATE	BY	DESCRIPTION

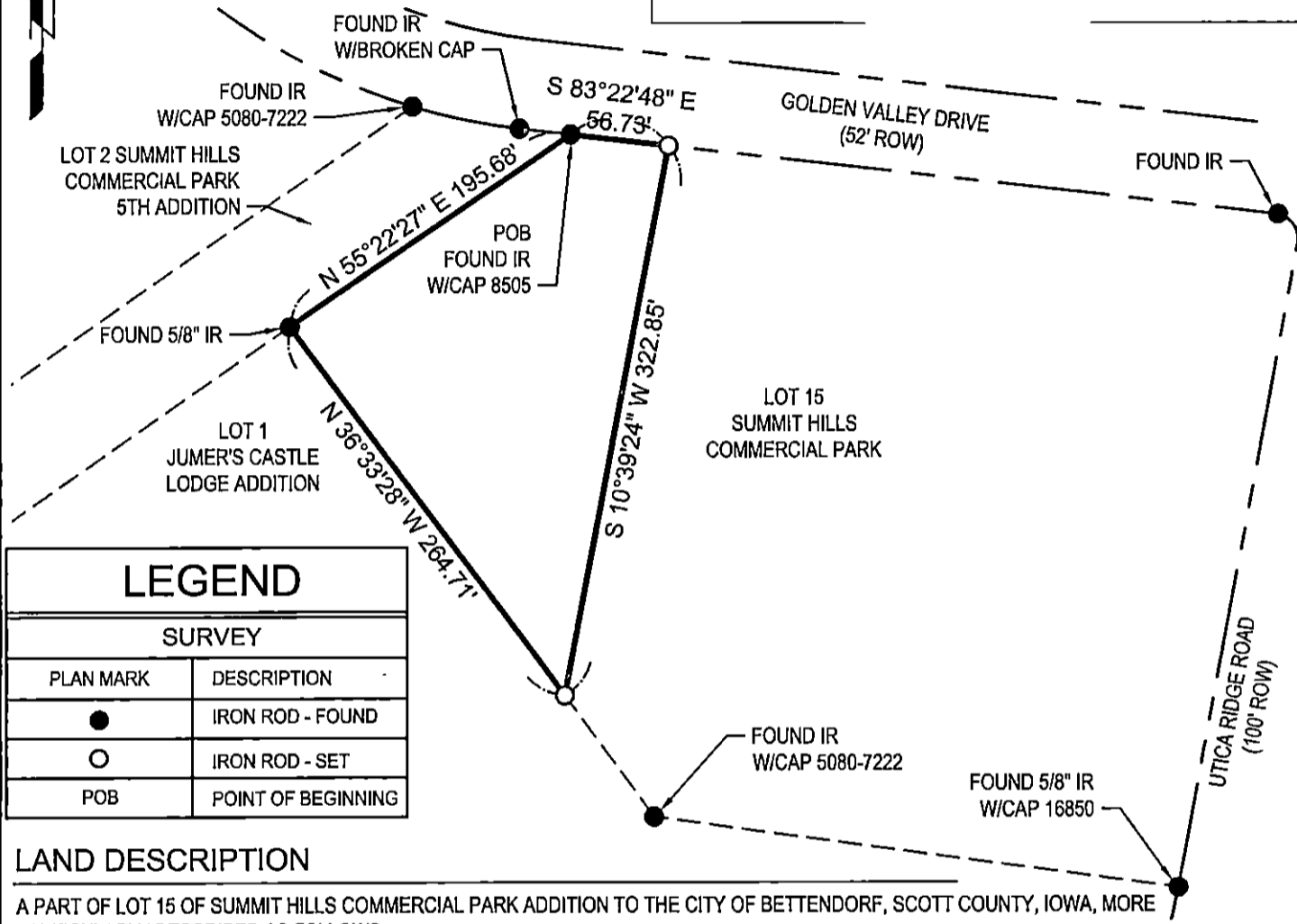
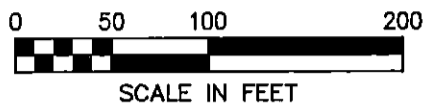
DATE	BY	DESCRIPTION

FINAL PLAT

**INDEX LEGEND**  
 LOCATION : LOT 15 SUMMIT HILLS COMMERCIAL PARK ADDITION TO THE CITY OF BETTENDORF  
 REQUESTOR : CDCQC, LLC.  
 PROPRIETOR : UTICA RIDGE PROPERTY, LLC.  
 SURVEYOR : GARY D. GROSS  
 SURVEY : SHIVE-HATTERY  
 COMPANY : 1701 River Drive, Suite 200, Moline, Illinois 61265  
 RETURN TO : SHIVE-HATTERY

Doc ID: 021442240001 Type: PLA  
 Recorded: 06/01/2018 at 04:04:59 PM  
 Fee Amt: \$7.00 Page 1 of 1  
 Scott County Iowa  
 Rita A. Vargas Recorder  
 File **2018-00013879**

**PLAT OF SURVEY**



**LEGEND**

SURVEY	
PLAN MARK	DESCRIPTION
●	IRON ROD - FOUND
○	IRON ROD - SET
POB	POINT OF BEGINNING

**LAND DESCRIPTION**

A PART OF LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AS A POINT OF BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION;

THENCE SOUTH 83°22'48" EAST 56.73 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF GOLDEN VALLEY DRIVE AND THE NORTHERLY LINE OF SAID LOT 15;

THENCE SOUTH 10°39'24" WEST 322.85 FEET TO THE SOUTHWESTERLY LINE OF SAID LOT 15 AND THE NORTHERLY LINE OF LOT 1 OF JUMER'S CASTLE LODGE ADDITION;

THENCE NORTH 36°33'28" WEST 264.71 FEET ALONG THE SAID SOUTHWESTERLY LINE OF LOT 15 AND THE NORTHERLY LINE OF LOT 1 OF JUMER'S CASTLE LODGE ADDITION TO THE WESTERLY LINE OF LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION AND THE EASTERLY LINE OF LOT 2 OF SUMMIT HILLS COMMERCIAL PARK 5TH ADDITION;

THENCE NORTH 55°22'27" EAST 195.68 FEET ALONG THE SAID WESTERLY LINE OF LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION AND THE EASTERLY LINE OF LOT 2 OF SUMMIT HILLS COMMERCIAL PARK 5TH ADDITION TO THE SOUTHERLY RIGHT-OF-WAY LINE OF GOLDEN VALLEY DRIVE AND THE NORTHERLY LINE OF LOT 15 OF SUMMIT HILLS COMMERCIAL PARK ADDITION AND THE POINT OF BEGINNING.

THIS PARCEL CONTAINS 35,004 SQUARE FEET OR 0.804 ACRES MORE OR LESS.

(FOR PURPOSES OF THIS DESCRIPTION THE SOUTHERLY RIGHT-OF-WAY LINE OF GOLDEN VALLEY DRIVE IS ASSUMED TO BEAR SOUTH 83°22'48" EAST).

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: *Gary D. Gross*  
 NAME: **GARY D. GROSS**  
 DATE: **5-29-18** LICENSE NUMBER: **16850**  
 MY LICENSE RENEWAL DATE IS: **DECEMBER 31, 2018**  
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: **B1.01**

**SHIVE-HATTERY**  
 ARCHITECTURE + ENGINEERING  
 1701 River Drive, Suite 200 | Moline, Illinois 61265  
 309.764.7650 | www.shive-hattery.com  
 Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

<b>PLAT OF SURVEY</b>		<b>THE LODGE SUBDIVISION</b>		PROJECT NO. 318206-0
RUSSELL CONSTRUCTION CO. BETTENDORF, IOWA				
DATE	5/22/2018	SCALE	AS SHOWN	SHEET NO.
DRAWN	JJB	FIELD BOOK	610	B1.01
APPROVED	GDG	REVISION	-	

File Path: P:\Projects\MO3182060\Deliverables\Drawings\1a\_Survey\PS-B1-01.dwg





EXAMPLE OF FENCE ENCLOSURE



## COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

June 15, 2022

Staff Report

### **Case No. 22-032 and 22-033**

**Request:** 907 Utica Ridge Place – Site Development Plan/review of building materials in UTICOD

**Applicant:** Utica Hills Hospitality, LLC

**Current Zoning Classification:** C-6 Office and Research Park District

**Future Land Use Designation:** Urban Medium Intensity (UMI)

### **Background Information and Facts**

Utica Hills Hospitality, LLC has submitted a site development plan for 907 Utica Ridge Place (see Future Land Use Map and Zoning Map – Attachments A and B). The 2.5-acre parcel (Lot 1, Utica Hills Point) is the anticipated location of a hotel and parking lot (see Final Plat and Site Development Plan – Attachments C and D). The Landscape Plan shows the tree count has been surpassed (see Landscape Plan – Attachment E). A variance to permit parking in the required front yards facing Interstate 74 and Utica Ridge Place was granted for the entire subdivision (see Decision and Order – Attachment F). Parking will be shared with the hotel to the south. A recorded agreement will be required to detail the shared arrangement because the design of the hotel shows 4 fewer spaces than are required. A copy of the recorded document must be submitted to the City prior to issuance of building permits. The hotel will have 113 units on four floors (see Hotel Elevations – Attachments G).

Since the hotel is located in the UTICOD (Utica Ridge Corridor Overlay District), elements of the building's design materials are reviewed by the Planning and Zoning Commission. Delineation of the overlay district is roughly I-74 (west), Spruce Hills Drive (south), Utica Ridge Road (east), and Tanglefoot Lane (north) (see Aerial Boundary Map – Attachment H). Regulations regarding the evaluation of the materials for all structures in the residential and commercial areas of the UTICOD are detailed in Section 11-6-4 (see UTICOD Ordinance – Attachment I). The types of materials and their portion of use is shown in the samples and elevations provided by the developer (see Elevations and Exterior Treatments – Attachment J).

### **Future Land Use and Comprehensive Plan**

The future land use designation is UMI, and the site is zoned C-6, Office and Research Park District which permits the proposed hotel. The development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry of the City's Comprehensive Plan.

### **Utilities**

Utilities will be extended to the site as needed. Connections for utilities to the site come from Utica Ridge Place and Golden Valley Drive.

### **Thoroughfare, Emergency & Pedestrian Access**

Access to the property is from Utica Ridge Road to Utica Ridge Place on the east and from Golden Valley Drive on the north. Access easements permit navigation between Lots 1 and 2 of the subdivision. In order to meet ordinance requirements regarding parking, shared parking will be required between Lots 1 and 2 of Utica Hills Point subdivision.

### **Storm Water Detention**

Storm water detention is provided for the entire subdivision in two basins located on Lots 5 and 6. Water quality is also provided in the basins themselves for all lots.

### **Staff Recommendation**

Staff recommends approval of the site development plan subject to the following conditions:

1. Approval of the site development plan does not waive any other state, federal, or local government provisions as required by law.
2. A recorded shared parking agreement between Lots 1 and 2, Utica Hills Point must be provided to the Community Development Department prior to the issuance of building permits.
3. No planting of trees in easement areas is permitted.

Respectfully submitted,

Greg Beck  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on a site development plan for 3340  
Utica Ridge Road, submitted by Craig Shannon. (Case 22-036)

Honorable Mayor and Members of the City Council:

On June 15, 2022, the Planning and Zoning Commission reviewed and recommended that your  
Honorable Body approve the above named site development plan.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

6. Case 22-036; 3340 Utica Ridge Road, submitted by Craig Shannon.

Beswick reviewed the staff report.

Kappeler asked if there are other tenants in the building in addition to the day care. Beck stated that the remainder of the building is currently unoccupied but that a new tenant would be moving in. Kappeler commented that a day care is unique in that there would be pick-ups and drop-offs and a lot of traffic and questioned how the operation may affect the future tenant. Beck commented that more parking spaces than are required have been provided for the overall building.

A brief discussion was held regarding the location of the pick-up and drop-off location, how the internal traffic would flow, and whether a 4-foot high chain link fence is adequate protection for the outdoor recreational area. Hunt commented that he would meet with the Police and Fire Chiefs to ensure that any concerns they have with regard to safety are addressed, adding that the applicant is aware of all of the State laws and regulations for operation of a day care center. He stated that the applicant is required to obtain a special use permit from the Board of Adjustment as well. Beck added that some of the issues that have been brought up could be addressed at that meeting.

Andrew Dasso, representing the applicant, explained that there is a circular traffic pattern within the parking lot and that motorists will have the option to exit onto Golden Valley Drive or Utica Ridge Road. He added that there is a secure vestibule at the entrance and that children are expected to be walked into the building and checked in. He stated that parents will park in the lot which will obviate the need for queuing space for cars.

Gibson asked if it is within the Commission's purview to require one-way traffic circulation in the parking lot. Hunt commented that he believes that type of issue is better addressed by the Board of Adjustment. Curran explained that this is not typically an issue that would be in the scope for the Commission.

A discussion was held regarding measures that could be taken to enhance the security of the fenced area such as boulders or bollards.

Kappeler asked if the concerns that have been expressed will be relevant to the Board during their review of the special use permit that is required. Hunt explained that the Board will first decide whether or not it is appropriate to allow the proposed day care center, adding that they could then discuss the safety aspects of the use along with the details of the operation of it. Curran stated that there are specific factors that the Board considers when determining whether or not to allow a special use such as the proposed use, the intensity of the use, and the nature of the use in relation to the surrounding area.

Beck asked Curran if the Commission could determine the height of the fence, whether bollards are required, and the directional flow of traffic rather than having the Board of Adjustment address those issues. He added that there have been cases in the past when the Commission has made such determinations. Curran reiterated that the Board is the more appropriate body to consider the safety aspects of the proposed use. He explained that the Board's decision is not subject to the review of the City Council. Kappeler asked if the Commission's decision would have any influence on the special use permit. Curran stated that it would not as they are separate decisions but that the Commission could note any special concerns in their recommendation to the City Council. He added that the Board of Adjustment makes their determination based on a specific section of the Code that sets forth what standards they are to consider. He commented that if staff has a recommendation, it would be appropriate to inform the Commission at this time. Hunt stated that staff's recommendation is that the Board of Adjustment address the concerns that have been expressed during their review of the special use permit as noted in the Code.

Wennlund asked if the site development plan would be presented to the City Council prior to the Board of Adjustment meeting. Hunt stated that he would hold the site development plan until such time as a decision is made by the Board of Adjustment.

Dasso commented that the applicant will be required to obtain proper permits from the State who will dictate the required height of the fencing, the size of the outdoor space, etc.

On motion by Gannaway, seconded by Adam, that the site development plan for 3340 Utica Ridge Road be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**MEETING DATE:** August 2, 2022

**COUNCIL LETTER**

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:** Resolution approving a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition), submitted by Emery Construction Group, Inc./Jack Laud. (Case 22-051)

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

Emery Construction Group Inc./Jack Laud has submitted a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition) where they would like to build a laundromat (see Zoning Map and Future Land Use Map - Attachments A and B). A site development plan for a car wash was approved for this location in 2015 (see Final Plat and Previous Site Plan - Attachments C and D). The new site development plan indicates the building will be located in the northwest portion of the lot (see New Site Development Plan and Utility Plan - Attachments E and F). Three tree factors are needed for the streetscape along with two tree factors for the vehicular use areas to meet the landscaping requirements (see New Site Development Plan - Attachment E). The building will be constructed with an exterior treatment of split-faced brick and stone (see Elevations - Attachment G).

The future land use designation is Community Commercial, and the site is zoned C-2, Community Commercial District. The use of Laundry Services is permitted in C-2. The development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry.

The Planning and Zoning Commission made a recommendation for approval of the site development plan by a 5-0 margin at the July 20, 2022 meeting.

Consult the Planning and Zoning Commission staff report for further details.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

N/A

**List Attachments:**

Resolution; (A) Zoning Map; (B) Future Land Use Map; (C) Murphy's 1<sup>st</sup> Addition Final Plat; (D) Previous Site Plan; (E) New Site Development Plan; (F) Utility Plan; (G) Elevations; (H) Staff report to the Planning and Zoning Commission; (I) Planning and Zoning Commission report to the Mayor and City Council; (J) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter

**RESOLUTION APPROVING A SITE DEVELOPMENT PLAN FOR  
1801 KIMBERLY ROAD  
LOT 1, MURPHY'S 1<sup>ST</sup> ADDITION**

WHEREAS, Emery Construction Group, Inc./Jack Laud submitted a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition), and

WHEREAS, the Planning and Zoning Commission has reviewed said site development plan and recommended approval of it, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves a site development plan for 1801 Kimberly Road subject to the following condition:

1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

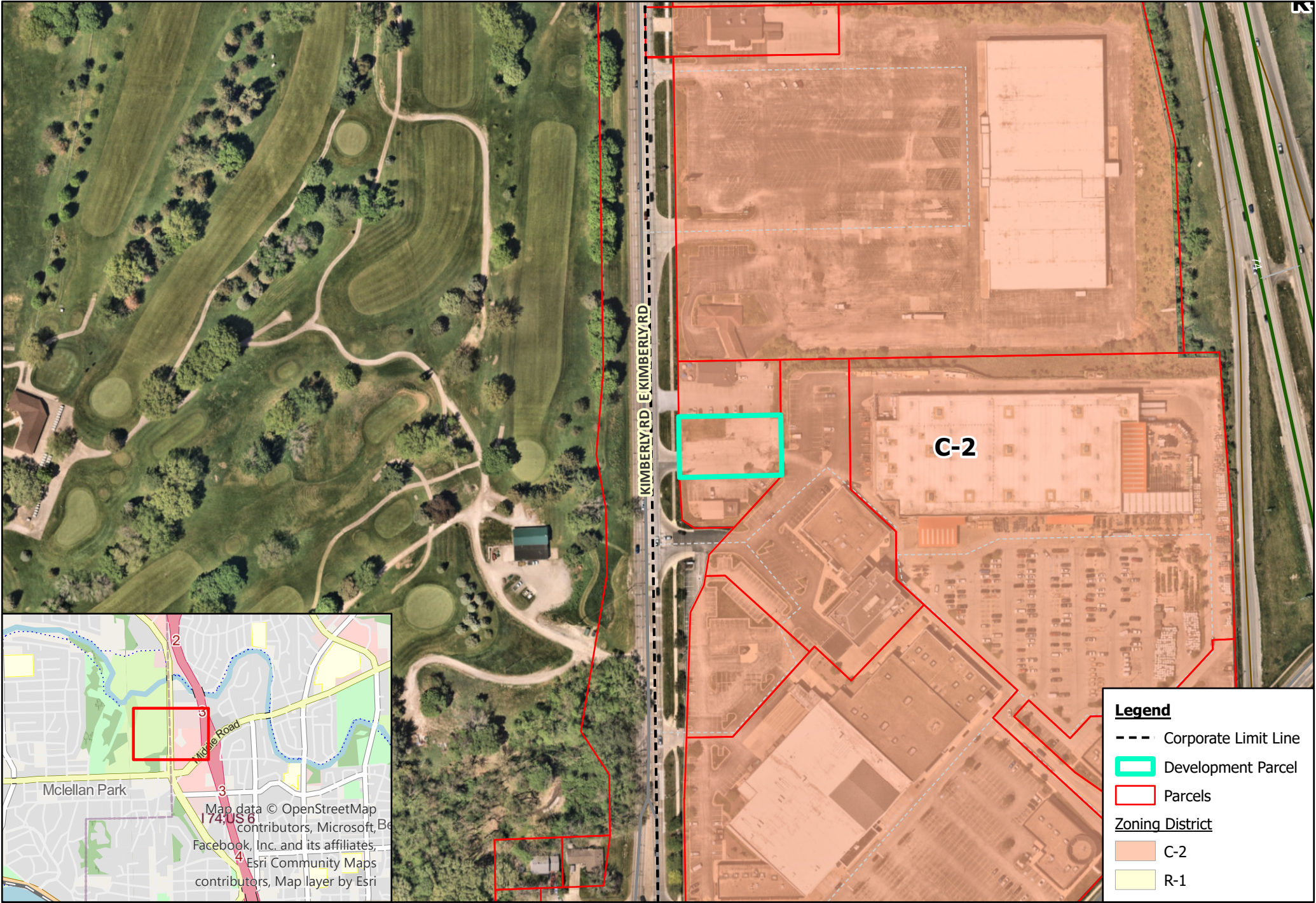
\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk

# Case 22-051: 1801 Kimberly Road Site Development Plan: Laundromat Zoning

1 Inch = 221 Feet



KIMBERLY RD E KIMBERLY RD

**C-2**

**Legend**

- Corporate Limit Line
- Development Parcel
- Parcels

**Zoning District**

- C-2
- R-1

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

Mclellan Park

174 US 6

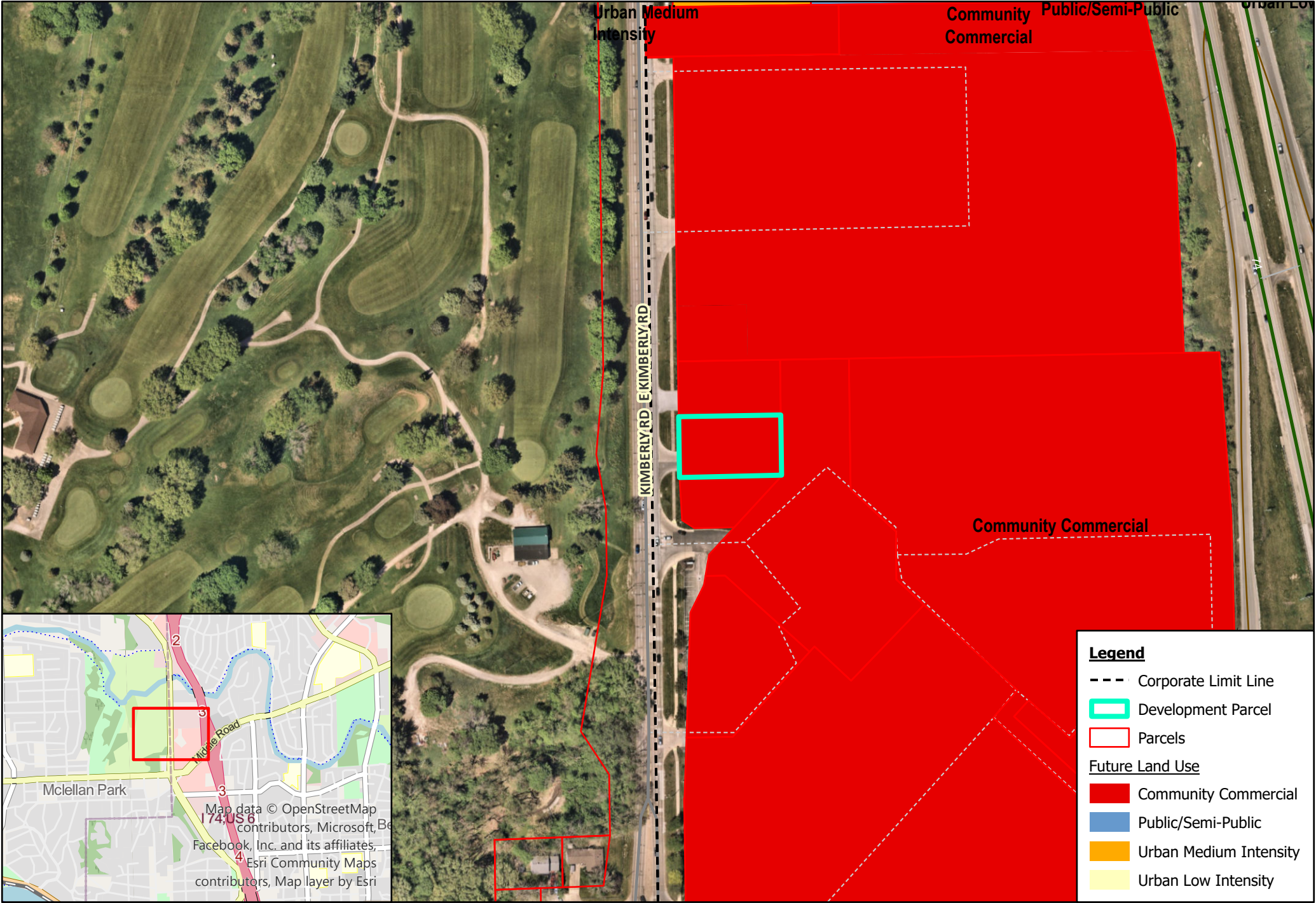
# Case 22-051: 1801 Kimberly Road Site Development Plan: Laundromat Future Land Use

ATTACHMENT B

1 Inch = 221 Feet



N



**Legend**

- Corporate Limit Line
- Development Parcel
- Parcels

**Future Land Use**

- Community Commercial
- Public/Semi-Public
- Urban Medium Intensity
- Urban Low Intensity

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

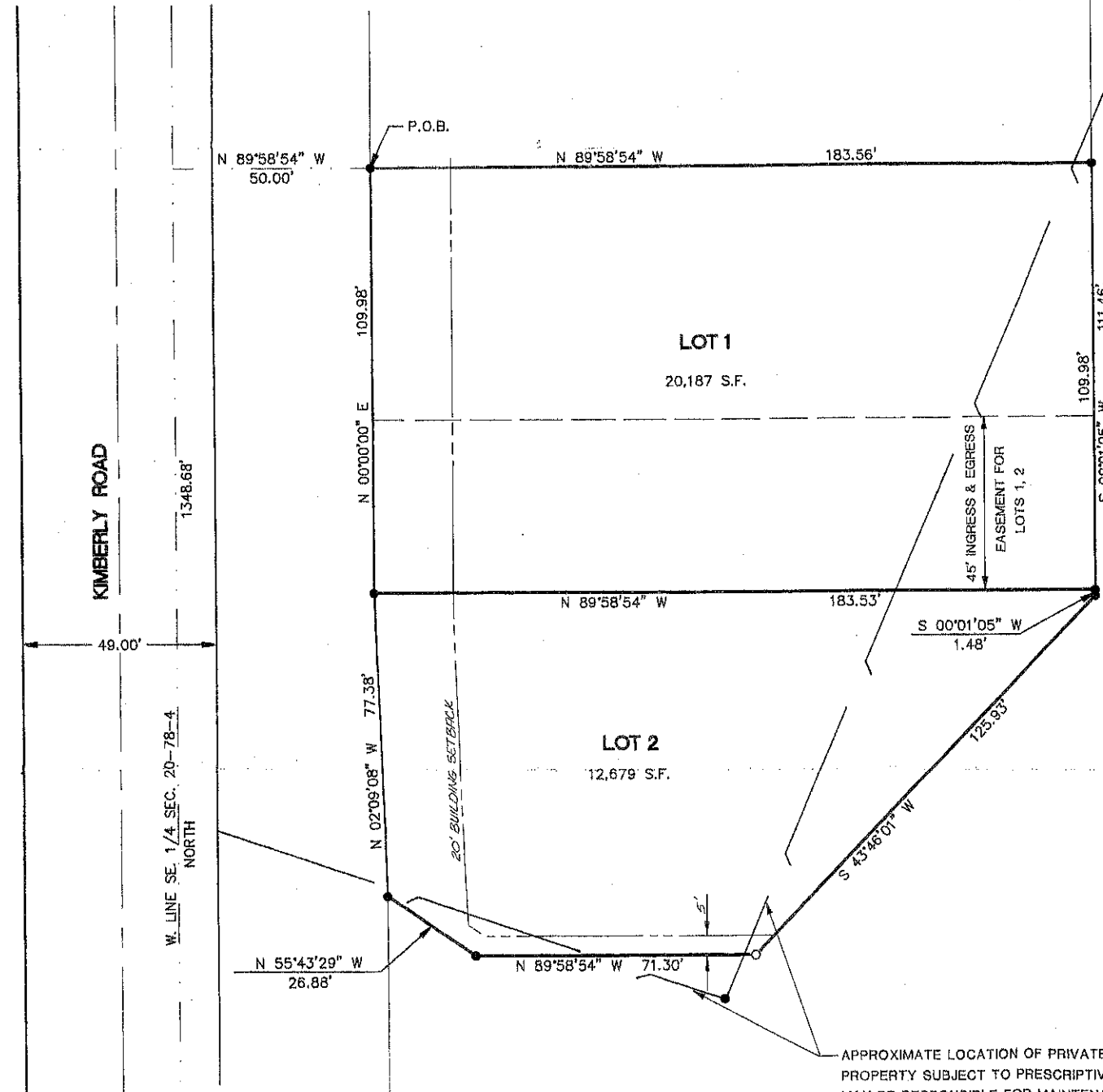
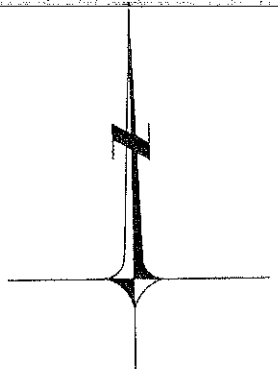
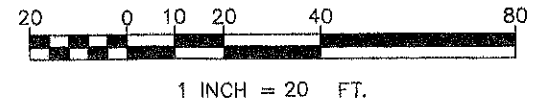
McLellan Park

Kimberly Road

174 US 6

# FINAL PLAT MURPHY'S 1ST ADDITION

TO THE CITY OF BETTENDORF  
PART OF THE SE. 1/4 OF SECTION  
20 - T 78N, R 4E. OF THE 5TH P.M.  
SCOTT COUNTY, IOWA



**OWNER:**  
  
NELLIS CORP.  
6001 MONTROSE RD.  
SUITE 600  
ROCKVILLE, MD 20852

**DEVELOPER:**  
  
MR. AND MRS. CLAREN E MURPHY  
2835 WILLOW ROAD  
BETTENDORF, IOWA 5 722

- NOTES:**
1. ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  2. PROPERTY CORNERS SET IN ACCORDANCE WITH CHAPTER 354 STATE CODE OF IOWA.
  3. BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRICAL, PAD MOUNTED, TRANSFORMER, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTING.
  4. ● FOUND SURVEY MONUMENTS  
○ SET RAILROAD SPIKE
  5. ACCESS TO LOTS 1 AND 2 IS LIMITED TO A SINGLE ENTRANCE ONTO KIMBERLY ROAD.

**IOWA-AMERICAN WATER CO.**  
BY: [Signature]  
DATE: 12/1/93

**COX CABLE TELEVISION CO.**  
BY: [Signature]  
DATE: 12/1/93

**U.S. WEST COMMUNICATIONS**  
BY: [Signature]  
DATE: 12-28-93

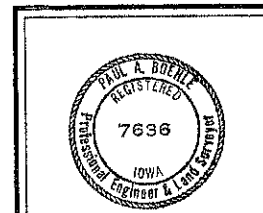
**PLAN AND ZONE COMMISSION**  
BY: [Signature]  
DATE: 12-21-93

**IA-ILL GAS AND ELECTRIC CO.**  
BY: [Signature]  
DATE: 12-15-93

**CITY OF BETTENDORF, IOWA**  
BY: [Signature]  
DATE: 3-16-94  
ATTEST: [Signature]

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY IA-ILL GAS & ELECTRIC CO.

APPROXIMATE LOCATION OF PRIVATE STORM SEWERS. PROPERTY SUBJECT TO PRESCRIPTIVE EASEMENT AND MAY BE RESPONSIBLE FOR MAINTENANCE.

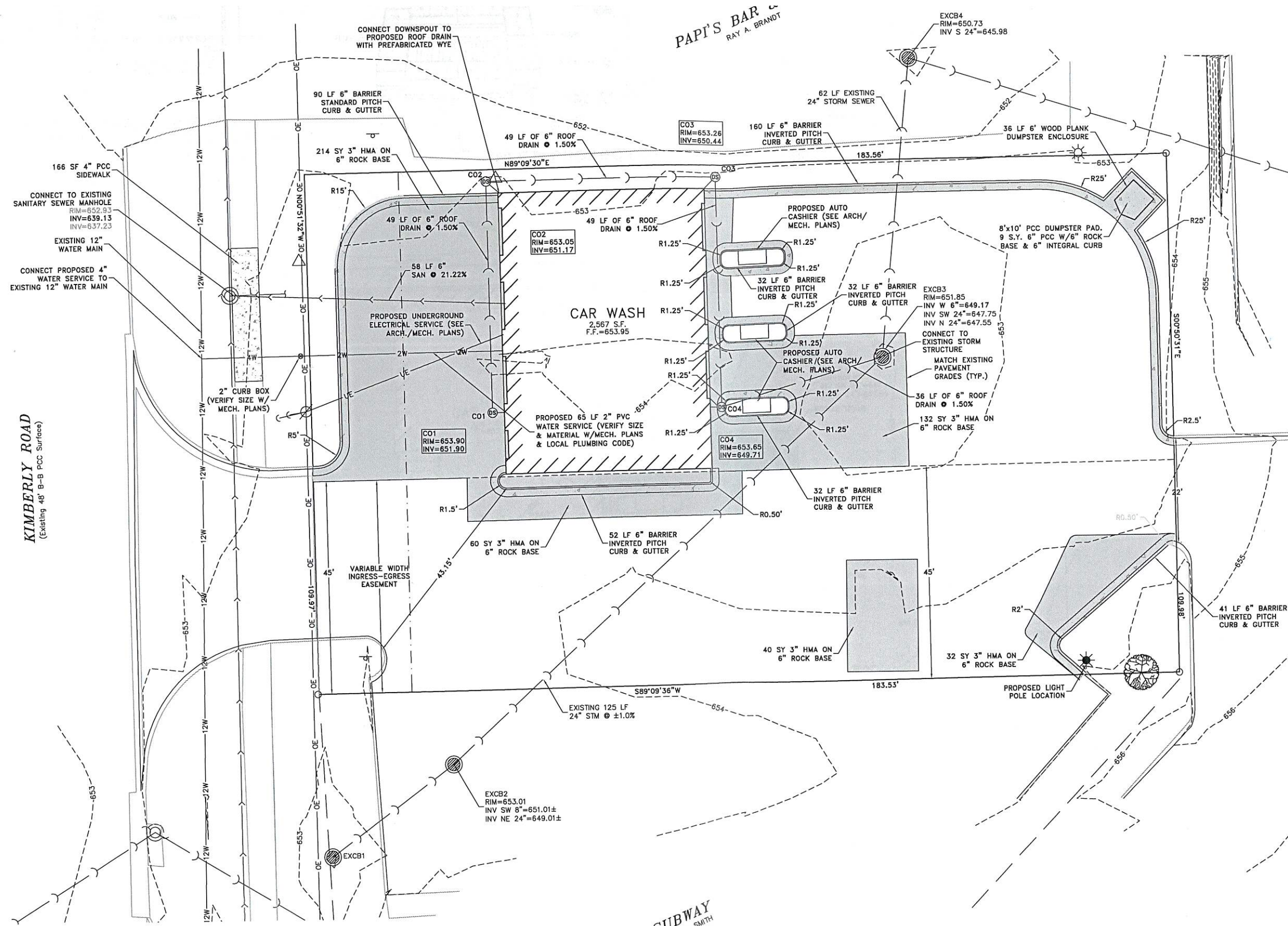
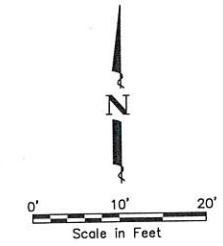


I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
[Signature] DATE 12-23-93  
PAUL A. BOEHLE IA. REG. NO. 7636  
MY RENEWAL DATE IS DECEMBER 31, 1994.

DESIGNED	BY	DATE
DRAWN	BY	DATE
CHECKED	BY	DATE
CHANGED OWNER / DEVELOPER	BY	DATE
ADDED NOTE TO NOTES	BY	DATE
ADDED STORM SEWER	BY	DATE
REVISIONS	BY	DATE

THE SCHEMMER ASSOCIATES INC.  
ARCHITECTS · ENGINEERS · PLANNERS

FINAL PLAT  
MURPHY'S 1ST ADDITION  
TO THE CITY OF BETTENDORF  
PART OF THE SE. 1/4 OF SECTION  
20 - 78 - 4 SCOTT COUNTY, IOWA



DUCK CREEK PLAZA  
P.B. ILL. OREGO L.L.C.

KIMBERLY ROAD  
(Existing 48" B-B PCC Surface)

SUBWAY  
RICKY J. SMITH

MAY 14 2015

NOTE:  
REFER TO LANDSCAPING PLAN (BY OTHERS) FOR TREE INSTALLATIONS IN STREETScape AND DRIVE AREA.

CURRENT ZONING/ LOT INFORMATION

CURRENT ZONING:	C-2
TOTAL NUMBER OF LOTS	1
TOTAL ACREAGE OF LOTS	0.468 ACRES
TOTAL R.O.W. ACREAGE	0 ACRES
TOTAL SITE ACREAGE	0.468 ACRES

C-2 RESTRICTIONS:  
FRONT SETBACK: MIN. 20 FEET  
SIDE SETBACK: MIN. NONE (5')  
REAR SETBACK: NONE (MATCH RES.)  
HEIGHT RESTRICTION: 100 FEET  
LOT SIZE RESTRICTIONS: NONE

REED WINDMILLER  
2726 Middle Road, Davenport, Iowa 52803

REVISIONS		
NO.	ITEM	DATE
1	REVISED PER CITY COMMENTS	02/27/15
2	REVISED PER CITY COMMENTS	03/10/15
3	REVISED PER CLIENT COMMENTS	04/30/15
4	REVISED PER CLIENT COMMENTS	05/13/15

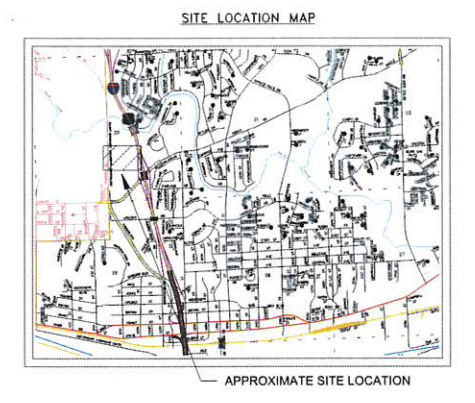
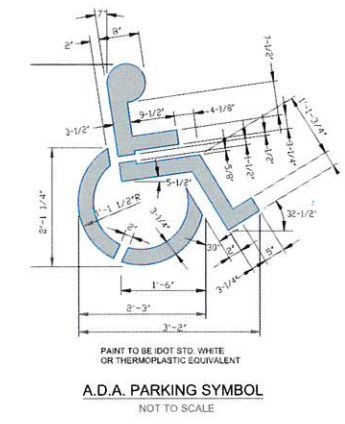
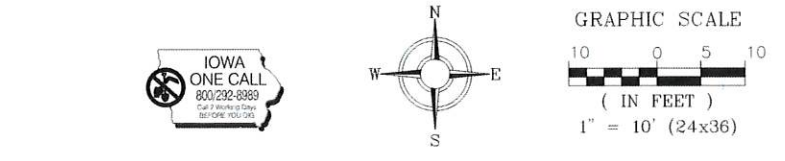
PLOTTING SCALE: 1" = 1'  
DRAWN BY: CAM/MAL  
CHECKED BY: MWJ  
DATE: MARCH, 2015

**McClure**  
Engineering Associates, Inc.  
4700 Kennedy Drive (309) 792-9350 East Moline, Illinois 61244 Fax (309) 792-8974  
Design Firm License: Illinois#04-000816 Copyright 2015 By McClure Engineering Associates, Inc.

SITE PLAN  
QC AUTOWASH BETTENDORF, IOWA  
FILE NAME: T:\ABE115.011\DWG\15011 MDL.dwg JOB NUMBER: 01-15-15-011

SHEET NO. 4 OF 5

SITE DEVELOPMENT PLAN  
**EMERY CONSTRUCTION GROUP**  
 Giant Laundry  
 TO THE CITY OF BETTENDORF, IA

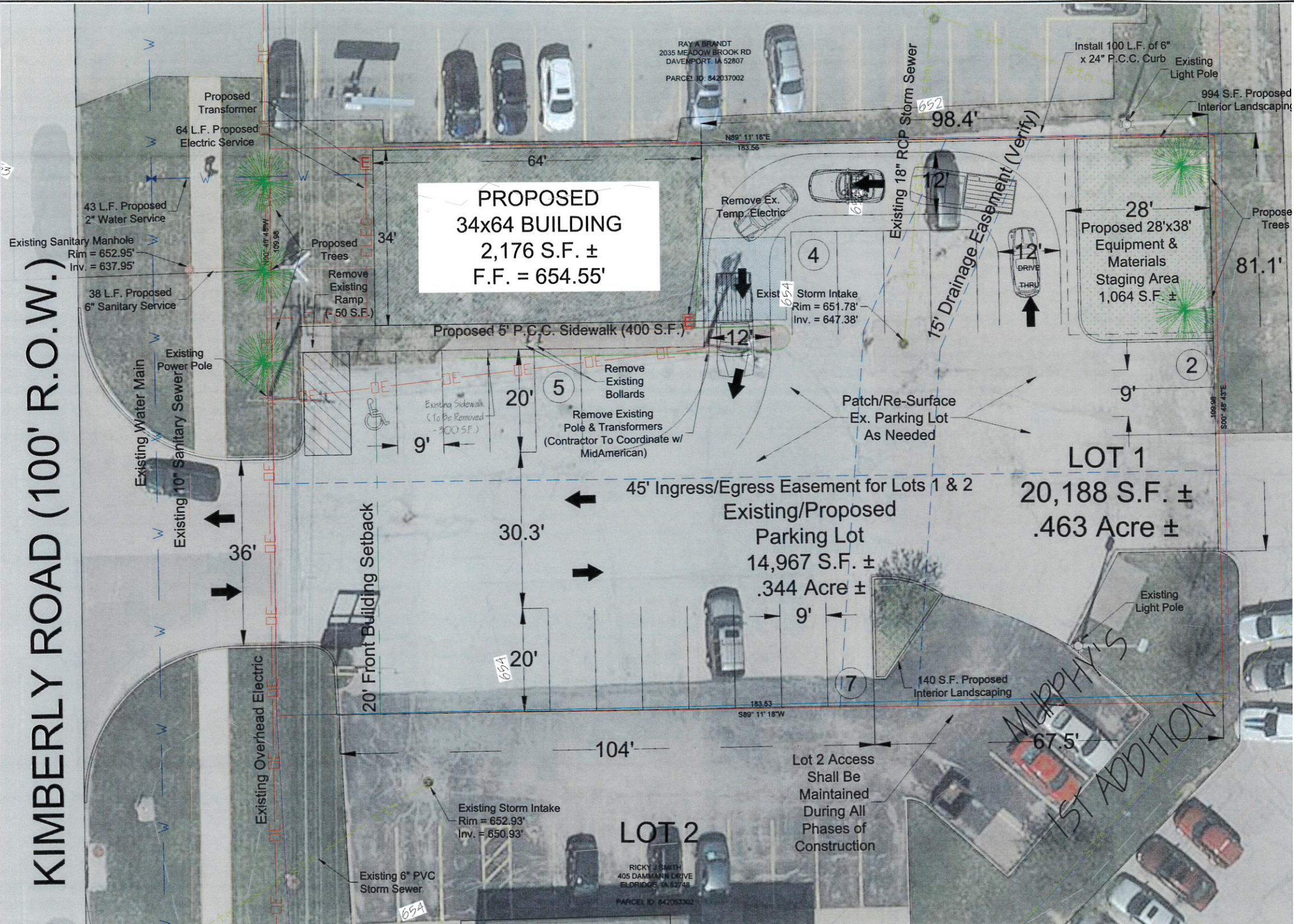


**NOTE:**  
 SIGNS SHALL MEET ALL OF THE REQUIREMENTS OF THE IOWA ADMINISTRATIVE CODE, LATEST ISSUE FOR HANDICAPPED PARKING SIGNS

**A.D.A. PARKING SIGN INSTALLATION**  
 NOT TO SCALE

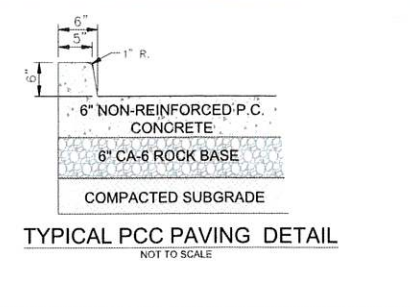
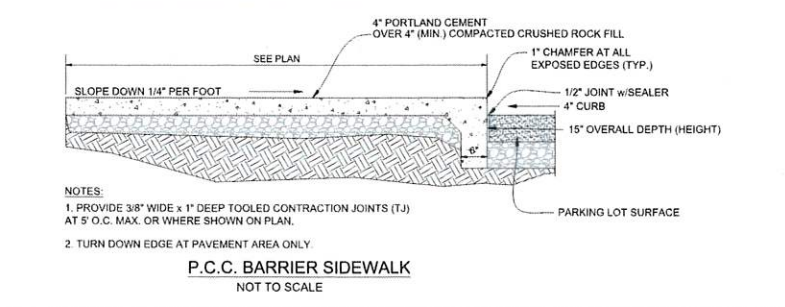


- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
  - LEGAL DESCRIPTION OF PROPERTY: LOT 1 OF MURPHY'S 1ST ADDITION TO THE CITY OF BETTENDORF, PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 78 NORTH, RANGE 4 EAST, OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
  - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
  - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
  - CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF BETTENDORF STANDARDS AND SPECIFICATIONS.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
  - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.



**LEGEND:**

	EASEMENT		EXISTING GAS VALVE		EXISTING CONTOUR LINE
	SETBACK LINE		EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	CENTERLINE		EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	PROPERTY BOUNDARY		EXISTING TREE		SPOT ELEVATION FL & GUTTER
	EXISTING FENCE		EXISTING BUSH		SPOT ELEVATION T.W.
	EXISTING SANITARY		EXISTING MANHOLE		SPOT ELEVATION FF
	PROPOSED SANITARY		EXISTING FIRE HYDRANT		
	EXISTING STORM SEWER		FOUND PROPERTY PIN		
	PROPOSED STORM SEWER		CONTROL POINT		
	EXISTING WATER				
	PROPOSED WATER				
	EXISTING GAS LINE				
	EXISTING ELECTRIC				

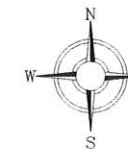


NO.	REVISIONS: DESCRIPTION	DATE

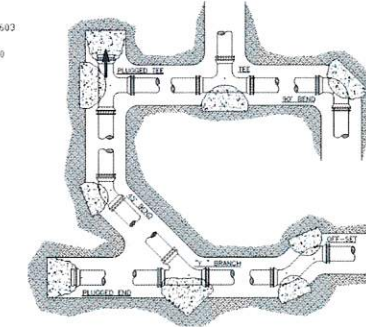
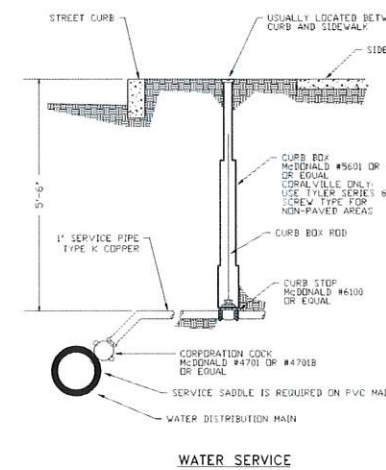
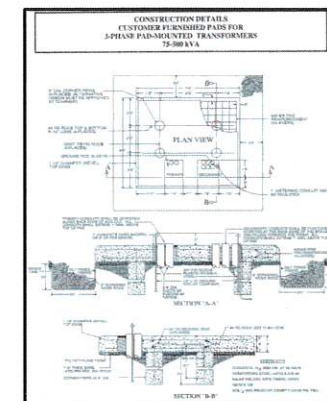
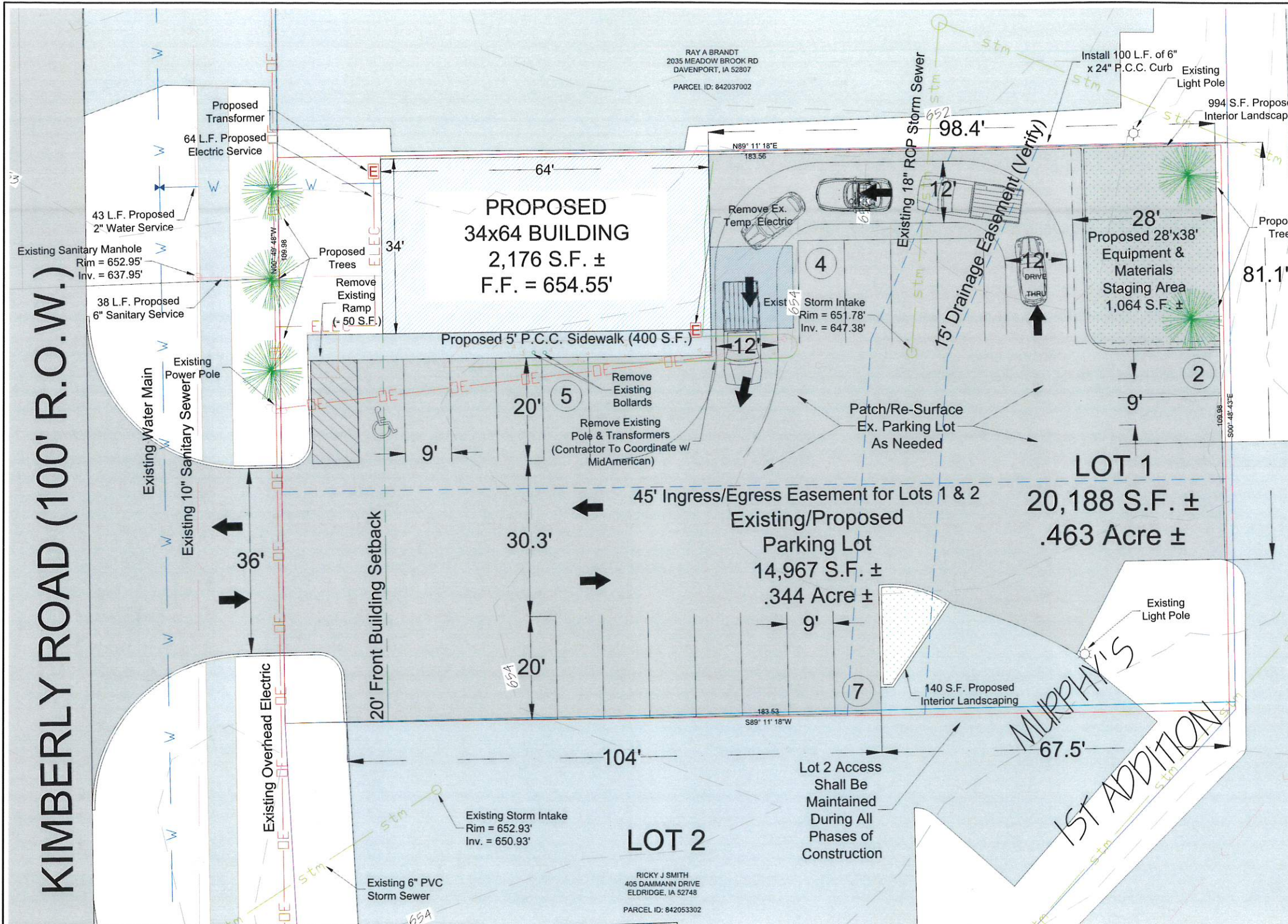
EMERY CONSTRUCTION GROUP

Giant Laundry

TO THE CITY OF BETTENDORF, IA



GRAPHIC SCALE  
10 0 5 10  
( IN FEET )  
1" = 10' (24x36)



THRUST BLOCKS ARE REQUIRED AT EVERY CORNER CHANGE, AT HEAD ENDS AND AT FIVE HORIZONTAL THROUST BLOCKS SHALL BE SPACED EQUAL DISTANCE WITHIN 3' FROM A HORIZONTAL OR 90 DEGREE OR 45 DEGREE OR 135 DEGREE CORNER. THRUST BLOCKS SHALL BE 12\"/>

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	11-1/4° OR 22-1/2° BEND
4"	3.0	4.0	3.0	1.5
6"	6.0	8.0	6.0	2.5
8"	10.0	14.0	10.0	4.0
10"	14.5	20.5	14.5	6.0
12"	20.0	28.0	20.0	8.0
14"	27.5	38.0	27.5	11.0
16"	36.0	50.0	36.0	14.0
20"	55.0	75.0	55.0	21.5
24"	78.5	111.0	78.5	30.5

THRUST BLOCK QUANTITIES (in cubic feet)

LEGEND:

	EASEMENT		EXISTING GAS VALVE		EXISTING CONTOUR LINE
	SETBACK LINE		EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	CENTERLINE		EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	PROPERTY BOUNDARY		EXISTING LIGHT POLE		SPOT ELEVATION FL @ GUTTER
	EXISTING FENCE		EXISTING TREE		SPOT ELEVATION SIDEWALK
	EXISTING SANITARY		EXISTING BUSH		FINISHED FLOOR ELEVATION
	PROPOSED SANITARY		EXISTING MANHOLE		
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT		
	PROPOSED STORM SEWER		FOUND PROPERTY PIN		
	EXISTING WATER		CONTROL POINT		
	PROPOSED WATER				
	EXISTING GAS LINE				
	EXISTING ELECTRIC				

UTILITY CONTACTS

MidAmerican Energy - Electric & Gas  
2811 5th Avenue  
Rock Island, IL 61201  
(309) 793-3707

MediaCom - Cable, Internet, & Phone  
3900 26th Avenue  
Moline, IL 61265  
(309) 743-4750

Century Link - Internet  
3908 Utica Ridge Road  
Bettendorf, IA 52722  
(563) 355-6402

GENERAL NOTES

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.

All Sanitary Sewer, Storm Sewer, Water Service & Paving Shall Be Completed In Conformance With The Current Standards & Specifications Of The City of Bettendorf, Iowa



DATE: 7/12/2022  
DRAWN BY: TAS  
CHECKED BY: CRT  
DRAWING LOCATION: S:EMERY1801 KIMBERLY RD/SITE PLAN.DWG

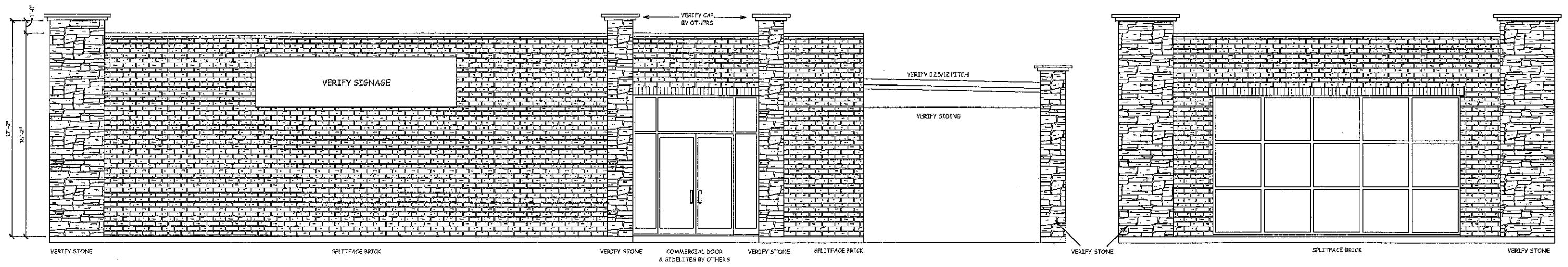
REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT: UTILITY PLAN GIANT LAUNDRY 1801 KIMBERLY ROAD BETTENDORF, IOWA 52722

DEVELOPER: EMERY CONSTRUCTION GROUP 2303 46TH STREET MOLINE, ILLINOIS 61265

SHEET NO. C3

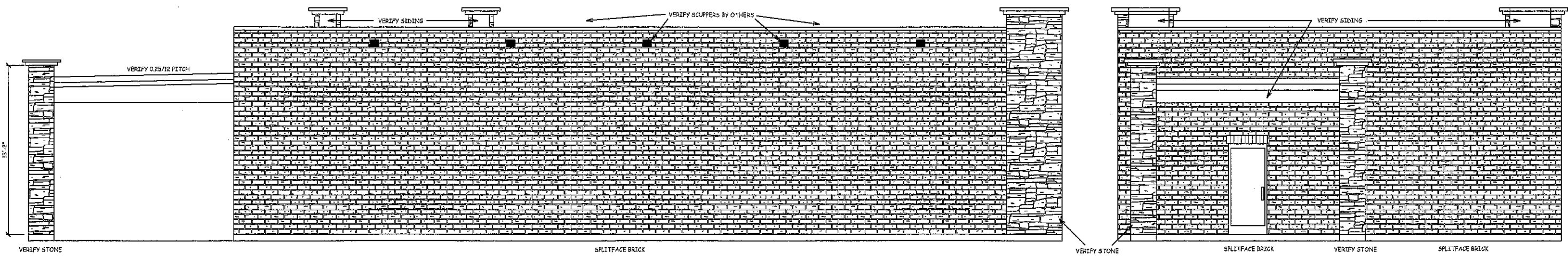


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"	EMERY CONSTRUCTION	DRAWN BY ZAS
DATE: 5/16/2022		REVISED
ELDRIDGE LUMBERYARD INC.		
4692-05-22	FINAL	DRAWING NUMBER 3 OF 3



## **COMMUNITY DEVELOPMENT**

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 20, 2022

Staff Report

### **Case No. 22-051**

**Location:** 1801 Kimberly Road – Site Development Plan

**Applicant:** Emery Construction Group, Inc./Jack Laud

**Land Use Designation:** Community Commercial

### **Background Information and Facts**

Emery Construction Group Inc./Jack Laud has submitted a site development plan for 1801 Kimberly Road (Lot 1, Murphy's 1<sup>st</sup> Addition) where they would like to build a laundromat (see Zoning Map and Future Land Use Map – Attachments A and B). A site development plan for a car wash was previously approved for this location in 2015 (see Plat and Previous Site Plan – Attachments C and D). The new site development plan indicates the building will be located in the northwest portion of the lot (see New Site Development Plan and Utility Plan – Attachments E and F). Three tree factors are needed for the streetscape along with two tree factors for the vehicle use areas to meet the landscaping requirements (see New Site Development Plan – Attachment E). The building will be constructed with an exterior treatment of split-faced brick and stone (see Elevations – Attachment G).

### **Future Land Use and Comprehensive Plan**

The future land use designation is Community Commercial, and the site is zoned C-2, Community Commercial District. The use of Laundry Services is permitted in C-2. The development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry.

### **Utilities**

Utilities already extend to the site mainly through the Kimberly Road right-of-way. The sanitary sewer comes from the Kimberly Road side. Electrical and water will

come from the west side of the lot. All utility connections are the responsibility of the developer.

**Thoroughfare, Emergency & Pedestrian Access**

The lot will have access from Kimberly Road through one entry. A circular drive east of the proposed building will permit pickup and drop off of laundry. The number of parking spaces provided meets the requirement for this type of site. A 6-foot wide sidewalk is on the east side of Kimberly Road.

**Storm Water Detention**

Since no impervious surface is being added, the site is grandfathered in for storm water detention purposes.

**Staff Recommendation**

Staff recommends approval of the site development plan subject to the following condition:

1. This approval does not waive any other State, Federal, or Local government provisions as required by law.

Respectfully submitted,

Greg Beck  
City Planner

July 25, 2022

Honorable Mayor and  
Members of the City Council  
City of Bettendorf  
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on a site development plan for 1801  
Kimberly Road, submitted by Emery Construction Group, Inc./Jack Laud. (Case 22-  
051)

Honorable Mayor and Members of the City Council:

On July 20, 2022, the Planning and Zoning Commission reviewed and recommended that your  
Honorable Body approve the above named site development plan.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt  
Director, Community Development

11. Case 22-051; 1801 Kimberly Road, submitted by Emery Construction Group, Inc./Jack Laud.

Beck reviewed the staff report.

Wennlund asked if the business would include washing machines and dryers or if it would be for laundry drop-off only. Jack Laud, the applicant, explained that there would be approximately 17 washing machines and 20 dryers in addition to a drop-off facility and will be managed by an attendant.

A brief discussion was held regarding the materials that will be used for exterior of the building.

On motion by Ormsby, seconded by Stoltenberg, that a site development plan for 1801 Kimberly Road be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



**COUNCIL LETTER**

**MEETING DATE:** August 2, 2022

**REQUESTED BY:** Mark Hunt

**ITEM TITLE:**

Resolution reappointing Donald Folland, Jr. to the City of Bettendorf's Electrical Commission.

**Explanation (Background and How it Responds to Vision, Mission, or Goals)**

The 2-year term of Donald Folland, Jr. to the City of Bettendorf's Electrical Commission expires on August 31, 2022, and he has indicated a desire to continue to serve on the Commission. It is the desire of the City Council to reaffirm his appointment to the Commission with a new term expiration date of September 1, 2024.

Staff recommends that the appointment of Donald Folland, Jr. to the Electrical Commission be reaffirmed by the Mayor.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source.**

NA

**List Attachments.**

Resolution.

**RESOLUTION NO. \_\_\_\_ - 22**

**RESOLUTION REAPPOINTING  
DONALD FOLLAND, JR. TO THE CITY OF BETTENDORF'S  
ELECTRICAL COMMISSION**

WHEREAS, the term of Donald Folland, Jr. on the City of Bettendorf's Electrical Commission will expire on August 31, 2022; and

WHEREAS, it is the desire of the City Council to reappoint these members and establish a term expiration date of November 19, 2022; and

WHEREAS, it is the recommendation of the Mayor that the term of Donald Folland, Jr. to the Electrical Commission be reaffirmed by the City Council.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that the appointment of Donald Folland, Jr. is hereby reaffirmed to the Electrical Commission for a term to expire on August 31, 2024.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**MEETING DATE: August 2nd, 2022**

**COUNCIL LETTER**

**REQUESTED BY: Schadt**

**VISION:**

**THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.**

**ITEM TITLE: Resolution authorizing staff to enter into contract with The Green Thumbers for landscaping services at the Waterfront Convention Center at the proposed cost of \$50,855.00.**

**Explanation (Background & How it Responds to Vision, Mission or Goals)**

Staff for the Isle, operator of the Waterfront Convention Center, has requested approval for a contract with The Green Thumbers to provide landscaping as quoted at the Waterfront. The cost of the work is \$50,855 and is paid from capital replacement funds of the Waterfront.

**ATTACHMENTS:**

- Resolution
- Proposal
- Preferred Vendor Form

**RESOLUTION NO. \_\_\_\_\_ - 22**

**RESOLUTION AUTHORIZING A LANDSCAPING CONTRACT  
FOR WATERFRONT CONVENTION CENTER**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF  
BETTENDORF, IOWA,** that staff is hereby authorized to contract The  
Green Thumbers to provide landscaping services for the Waterfront  
Convention Center for the proposed price of \$50,855.00.

PASSED, APPROVED, AND ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

Attest:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



# Proposal

## The Green Thumbers

**Client Name:** Waterfront Convention Center  
**Project Name:** Waterfront Convention Center Jobsite-2021 State Street-EST3226982  
**Jobsite Address:** 2021 State Street Bettendorf, Iowa 52722      **Billing Address:** 2021 State Street Bettendorf, Iowa 52722  
**Estimate ID:** EST3226982  
**Date:** Jun 16, 2022

- We are assuming this is a tax exempt Project. If not Taxes will be added to total price.

### Rock in Planters \$2,765.00

480 sq ft.	Landscaping Fabric (With Staples) - 6' x 300'	
6 Ton	Smoke Trap - 2"	2" Trap rock from Haas

### Planters \$13,200.00

6 Each	Square Planters (48" x 48" x 30" tall)
78 Bag	Potting Topsoil

### Obelisks \$9,170.00

6 Each	Obelisks
--------	----------

### Landscaping Front 4 Beds \$25,720.00

140 Each	CATMINT - WALKER'S LOW - 19CM - 19CM
200 Each	SEDUM - DREAM DAZZLER - 19CM - 19CM
160 Each	GRASS - KARL FOERSTER - 19CM - 19CM
140 Each	GRASS - BLACK HAWK - #3 - #3
88 Each	BOXWOOD - GREEN VELVET - PRIME - #3 - #3
14 Cy Yd	Black Dyed Mulch

---

**Subtotal** \$50,855.00

**Taxes**

\$0.00

---

**Estimate Total**

**\$50,855.00**

Estimate authorized by: \_\_\_\_\_  
Company Representative

Estimate approved by: \_\_\_\_\_  
Customer Representative

Signature Date: \_\_\_\_\_

Signature Date: \_\_\_\_\_



## Sole Source or Preferred Vendor Procurement Request

Check one:     Sole Source Vendor     Preferred Vendor

Please submit this form to the Finance Department

Description of Product/Service: \_Landscaping for QCWCC\_\_\_\_\_

Estimated amount of this purchase: \_\$50,855\_\_\_\_\_

For Preferred Vendor purchases, when was the product/service last competitively bid? N/A\_\_\_\_\_

Department: \_\_QCWCC\_\_\_\_\_      Contact Person: Julia Dreifurst\_\_\_\_\_

### Please provide the following information in order to document the request:

1. Prior to completing this form, please search the following joint purchasing groups that the City belongs to. The City can “piggyback” on to any of the products that these groups have already bid on without going through a separate bid process. Circle the appropriate answer indicating if you can find the item after searching all websites and provide a print screen or send the link to the website where we can find the bid for your item.

*LOOK UNDER THE FIRST ONE LISTED **PROCURE SOURCE.**  
ONE LOCATION – ONE FORMAT – HUNDREDS OF CONTRACTS*

US Communities <a href="http://www.ProcureSource.com">www.ProcureSource.com</a>	Y	N
The Cooperative Purchasing Network <a href="http://www.tcpn.org">www.tcpn.org</a>	Y	N
National Joint Purchasing Alliance <a href="http://www.njpacoop.org">www.njpacoop.org</a>	Y	N
US Communities <a href="http://www.uscommunities.org">www.uscommunities.org</a>	Y	N
State of Iowa Bids <a href="http://www.das.iowa.gov/gse">www.das.iowa.gov/gse</a> (type contracts in the search bar)	Y	N
Bi-State Regional Purchasing Council <a href="http://www.bistateonline.org">www.bistateonline.org</a>	Y	N
AEA Purchasing <a href="http://www.aeapurchasing.org">www.aeapurchasing.org</a>	Y	N
Federal Contracts Corp <a href="http://www.federalcontractscorp.com">www.federalcontractscorp.com</a>	Y	N
HGAC <a href="http://www.hgacbuy.org">www.hgacbuy.org</a>	Y	N
Naspo Value Point <a href="http://www.naspovaluepoint.org">www.naspovaluepoint.org</a>	Y	N
National Cooperative Purchasing Alliance <a href="http://www.ncpa.us">www.ncpa.us</a>	Y	N
National IPA <a href="http://www.nationalipa.org">www.nationalipa.org</a>	Y	N
National Purchasing Partners Gov <a href="http://www.hppgov.com">www.hppgov.com</a>	Y	N
Keystone Purchasing Network <a href="http://www.thekpn.org">www.thekpn.org</a>	Y	N
Thomas Net <a href="http://www.thomasnet.com">www.thomasnet.com</a>	Y	N
National Cooperative Purchasing Alliance <a href="http://www.ncpa.us">www.ncpa.us</a>	Y	N

2. Explain why the product/service requested is the only product/service that can satisfy your requirements and explain why alternatives are unacceptable. Be specific with regard to specifications, features, characteristics, requirements, capabilities and compatibility. **(Obtain and include a letter from the manufacturer confirming claims made by distributors of exclusive distributorships for the product or service, if, that is cited as a reason for this sole source/preferred vendor purchase.)**

We currently have a contract with Green Thumbers for our monthly plant maintenance. They are already coming in to the area and have the necessary supplies to perform the job. We also use them for the Isle and for large decorating projects and are happy with their services.





**MEETING DATE: August 2, 2022**

**COUNCIL LETTER**

**REQUESTED BY: Schadt**

**VISION:**

**THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.**

**ITEM TITLE: Resolution authorizing the purchase of maintenance service for the use of Tyler technologies Incode utility billing software used for the management and collection of customer payments for sewer and solid waste collection services.**

**Explanation (Background & How it Responds to Vision, Mission or Goals)**

Tyler Technologies Incode has been in use by the city since before year 2005. Incode is a critical software solution the city uses for issuing and managing invoices for storm water, sewer, and solid waste collection. We use Incode to process and code payments and track account statuses. We currently use a custom-built integration to pull in water use volumes and citizen customer list from Iowa American Water Company.

Ongoing annual costs are in our current budget. They will total at least \$26,490.18 per year. This is the listed yearly maintenance fee to continue service and support on existing solution install. This amount has been included in the 2022-23 Budget.

The finance department heavily uses the Tyler Technologies Incode CIS/CRM Software to collect payments for sewer, solid waste / recycling, and storm water. For this reason staff recommends using funds allocated to the sewer enterprise 520-0204-490.21-30, recycling / solid waste management 550-0506-491.21-30, and storm water utility 580-0219-493.21-30.

**ATTACHMENTS:**

- Resolution authorizing the payment of the Tyler Technologies Incode support and maintenance fees

RESOLUTION NO. \_\_\_\_\_ - 22

**RESOLUTION AUTHORIZING THE PURCHASE OF MAINTENANCE SERVICE FOR THE USE OF TYLER TECHNOLOGIES INCODE UTILITY BILLING SOFTWARE USED FOR THE MANAGEMENT AND COLLECTION OF CUSTOMER PAYMENTS FOR SEWER AND SOLID WASTE COLLECTION SERVICES**

**WHEREAS**, the City's purchasing policies require that any contract purchases in the amount of \$25,000 or greater be approved by a City Council resolution; and

**WHEREAS**, the requested software is a key component of the City's customer billing and utility service payment system and

**WHEREAS**, Tyler Technologies is the only vendor that provides the software and maintenance for their Incode software and has submitted a reasonable bid;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Bettendorf, Iowa:

That the Director of Finance is authorized to issue a purchase order to Tyler Technologies in the amount \$26,490.18.

**PASSED, APPROVED AND ADOPTED** this 2nd day of August, 2022.

---

Mayor Robert S. Gallagher

ATTEST:

---

Decker P. Ploehn, City Clerk



**MEETING DATE:** August 2, 2022

**COUNCIL LETTER**

**REQUESTED BY:** Keith Kimball

**ITEM TITLE:** Rekor HD Camera Software Enhancements

Resolution approving the purchase of video/recording equipment (50 camera/software licenses) from Rekor.

**Explanation (Background & How it Responds to Vision, Mission or Goals)**

The Police department has been utilizing licenses of the Rekor software since April 2020. The Rekor software permits us to use our existing city fiber optic infrastructure, existing cameras, and recording platform. The Rekor platform has become instrumental in the day-to-day operations of the police department.

The Police department is proposing the purchase of 50 licenses to support 50 cameras throughout the city during the current fiscal year. This will provide the Police department the flexibility to expand the Rekor software solution at additional locations. This is necessary as city infrastructure expands and/or is replaced.

Cost per license per year: \$660.00 (45 renewal licenses, 5 additional licenses)  
Total cost not to exceed \$33,000

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

CIP

**List Attachments**

Resolution

RESOLUTION NO. - 22

Resolution Approving the Purchase of Video/Recording  
Equipment from Rekor for the Police Department

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Chief of Police be authorized to purchase 50 software licenses from Rekor; cost not to exceed \$33,000.00.

PASSED, APPROVED, and ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**COUNCIL LETTER**

**MEETING DATE:** August 2, 2022

**REQUESTED BY:** Keith Kimball

**ITEM TITLE: (Please use same title as it will appear on your resolution.)**

Resolution authorizing the Mayor to accept \$44,789.50 from the Edward Byrne Memorial Justice Assistance Grant (JAG) Program FY 2022 Local Solicitation.

**Explanation (Background & How it Responds to Vision, Mission or Goals)**

The Scott County Sheriff's office notified our department on July 15, 2022 that we are eligible to receive \$44,789.50 from the Edward Byrne Justice Assistance Grant (JAG), which supports the officer assigned to the Scott County Drug Task Force/Special Operation Unit.

It is my intent to allocate these funds to pay salary, benefits, and limited overtime for that officer.

**If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:**

No match is required from the City.

**List Attachments**

Resolution

Resolution Authorizing the Mayor to Accept \$44,789.50 from the Edward Byrne  
Memorial Justice Assistance Grant (JAG) Program  
FY 2022 Local Solicitation

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Mayor is authorized to accept \$44,789.50 from the Edward Byrne Memorial Justice Assistance Grant (JAG) Program FY 2022 Local Solicitation, which supports the officer assigned to the Scott County Drug Task Force/Special Operation Unit. This award will reimburse the City monies allocated to salary, benefits, and limited overtime for that officer.

PASSED, APPROVED, and ADOPTED this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



**MEETING DATE: August 2, 2022**  
**REQUESTED BY: Michelle Spencer**

**COUNCIL LETTER**

**VISION:**

**THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.**

**ITEM TITLE: RESOLUTION APPROVING LIQUOR LICENSE RENEWALS AND REQUESTS**

**EXPLANATION (Background & How it Responds to Vision, Mission or Goals):**

The Licensing of businesses contribute to the mission of a growing, competitive business environment. The applicants for Ross' Restaurant; Central Avenue Tap; Hemisphere's Bistro; Food Affair; Kwik Star #1007 (Belmont Rd location); Purgatory's Pub; and Adventurous Brewing have submitted the necessary documentation to issue the respective license and/or permits as required by the State of Iowa.

A criminal history background check has been requested and/or conducted.

The Bettendorf Fire Department has determined that the applicants are in compliance with federal, state, and local requirements.

**ATTACHMENTS:**

- **Resolution**

**RESOLUTION APPROVING LIQUOR LICENSE RENEWALS AND REQUESTS**

**WHEREAS**, the City Council of the City of Bettendorf, Iowa has received application for the following liquor license renewals and/or requests:

Ross' Restaurant; Central Avenue Tap; Hemisphere's Bistro; Food Affair; Kwik Star #1007 (Belmont Rd location); Special Event License for Purgatory's Pub; and Extended Outdoor Service Area for Adventurous Brewing

**BE IT RESOLVED** by the City Council of the City of Bettendorf, Iowa, that pursuant to Iowa Code Chapter 123 the applications be approved; and

**BE IT FURTHER RESOLVED** that the City Clerk is herewith directed to certify to the Iowa Department of Commerce, Alcoholic Beverages Division, the City Council's approval of said applications.

**PASSED, APPROVED AND ADOPTED** this 2<sup>nd</sup> day of August, 2022.

\_\_\_\_\_  
Robert S. Gallagher, Mayor

ATTEST:

\_\_\_\_\_  
Decker P. Ploehn, City Clerk



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
	AQUATIC CENTER FUND	57500002211000		TREASURER, STATE OF IOWA	07/21/2022	2300037	0-001-452-550B	0.25	june sales tax - splash
	<b>AQUATIC CENTER FUND - Summary</b>							<b>0.25</b>	
		00100002330000		WAGEWORKS	07/19/2022	2300034	INV3994557	5,635.31	flex claims
		00100002330000		WAGEWORKS	07/12/2022	2300032	INV3971816	13,116.11	flex claims
		00100002211000		TREASURER, STATE OF IOWA	07/21/2022	2300037	0-001-452-550C	169.45	june sales tax - recreation
	GENERAL FUND	00100003500200		JENNIFER CANGAS	08/03/2022	117594	22-037	50.00	REFUND FOR WITHDRAWN VARIANCE - CANGAS
		00100003330100		BETTENDORF HEATING & AC	08/03/2022	117548	2206-0388-MEC	109.60	MECH PERMIT CANCELLED REF UND 80% OF FEE \$137
		00100002330000		WAGEWORKS	07/14/2022	2300033	INV3964244	6,725.07	flex claims
		00100002211100		TREASURER, STATE OF IOWA	07/21/2022	2300037	0-001-452-550D	17.28	june sales tax - city merch
	<b>GENERAL FUND - Summary</b>							<b>25,822.82</b>	
		81000002059900		IOWA C.O.P.S.	07/15/2022	2300045	PR DATE 07/15	53.00	07/15/22 contributions
		81000002051500		ICMA RETIREMENT TRUST - 457	07/15/2022	2300041	782084	3,464.33	after tax roth ira
		81000002051500		AMERICAN FUNDS ROTH IRA WIRE	07/15/2022	2300052	7918-3154-00315	25.00	after tax roth ira contributions
		81000002050900		INTERNAL REVENUE SERVICE	07/15/2022	2300046	4284890B	28,051.20	medicare w/h tax
		81000002052300		NATIONWIDE RETIREMENT SOLUTIONS	07/15/2022	2300050	PR 07/15	999.31	457 contributions
	LIABILITY CLEARING ACCT.	81000002051200		MUNICIPAL FIRE & POLICE	07/15/2022	2300042	07/15 PAY DATEB	10,038.24	emp share fire pension
		81000002052300		GREAT AMERICAN PLAN ADMINISTRATORS	07/15/2022	2300044	PR DATE 07/15	580.76	07/15 contributions
		81000002051500		LEGALSHIELD	07/20/2022	117465	20220701A	112.16	legalshield for 07/01/22
		81000002050400		MUNICIPAL FIRE & POLICE	07/15/2022	2300042	07/15 PAY DATEC	25,522.72	cityshare fire pension
		81000002059900		MARSHA L COMBS-SKINNER	07/29/2022	117541	20220729	141.24	PAYROLL SUMMARY
		81000002050700		ILLINOIS DEPARTMENT OF	07/15/2022	2300048	1-430-893-648	2,845.29	illinois state w/h tax



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
				REVENUE						
		81000002050200		MUNICIPAL FIRE & POLICE	07/15/2022	2300042	07/15 PAY DATEA	38,688.05	city share police pen sion	
		81000002051000		IPERS COLLECTIONS	07/15/2022	2300049	121001638A	51,229.35	city share ipers	
		81000002052300		PACIFIC LIFE INSURANCE COMPANY	07/29/2022	117542	20220729	523.46	PAYROLL SUMMARY	
		81000002050600		TREASURER,STATE OF IOWA	07/15/2022	2300047	0-001-329-875	34,210.74	07/15 pay date ia w/h tax	
		81000002052300		ANCHOR NATIONAL LIFE INSURANCE CO	07/29/2022	117533	20220729	0.00	PAYROLL SUMMARY	
		81000002050800		INTERNAL REVENUE SERVICE	06/30/2022	2300039	270260203362434	34.76	Fica w/h tax from a deppe exemption	
		81000002051900		COLLECTION SERVICES CENTER	07/15/2022	2300051	2166209	1,791.80	child/spouse support	
		81000002052300		CITY OF BETTENDORF/125 PLAN	07/29/2022	117537	20220729	2,246.84	PAYROLL SUMMARY	
		81000002052300		LINCOLN LIFE	07/29/2022	117540	20220729	1,023.41	PAYROLL SUMMARY	
	LIABILITY CLEARING ACCT.	81000002050800		INTERNAL REVENUE SERVICE	07/21/2022	2300039	270260203362434	34.76	COPY GR#5485 TO CORR DATE exemption	
		81000002059900		BETTENDORF POLICE BENEVOLENT FUND	07/29/2022	117534	20220729	98.00	PAYROLL SUMMARY	
		81000002051500		AFLAC	07/15/2022	2300043	PR DATE 07/15	120.58	ci wrap contributions	
		81000002050800		INTERNAL REVENUE SERVICE	07/15/2022	2300046	4284890A	80,073.52	fica w/h tax	
		81000002052000		UNITED WAY OF THE QUAD CITIES AREA	07/15/2022	2300040	PR DATE 07/15	690.76	07/15/22 contributions	
		81000002051100		MUNICIPAL FIRE & POLICE	07/15/2022	2300042	07/15 PAY DATE	15,216.19	employee share police pen sion	
		81000002051900		STATE DISBURSEMENT UNIT	07/29/2022	117543	20220729	600.00	PAYROLL SUMMARY	
		81000002052000		CREATING HEALTHIER COMMUNITIES	07/29/2022	117539	20220729	24.00	PAYROLL SUMMARY	
		81000002050800		INTERNAL REVENUE SERVICE	07/21/2022	2300039	270260203362434	-34.76	REVR GR#5492 TO DELETE# exemption	
		81000002050800		INTERNAL REVENUE SERVICE	07/21/2022	2300039	270260203362434	34.76	COPY GR#5492 TO DELETE# exemption	
		81000002050500		INTERNAL REVENUE SERVICE	07/15/2022	2300046	4284890	91,593.12	federal w/h	



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		81000002051500		LEGALSHIELD	07/20/2022	117465	20220715A	102.68	legalshield for pr 07/15/22
		81000002052300		CITY OF BETTENDORF/125 PLAN	07/29/2022	117538	20220729	1,931.46	PAYROLL SUMMARY
		81000002050800		INTERNAL REVENUE SERVICE	06/30/2022	2300039	270260203362434	-34.76	REVR GR#5485 TO CORR DATE exemption
	LIABILITY CLEARING ACCT.	81000002052800		ICMA RETIREMENT TRUST - 457	07/15/2022	2300041	782036A	3,390.06	457 loan payments
		81000002059900		CITY OF BETTENDORF	07/29/2022	117535	20220729	13.29	PAYROLL SUMMARY
		81000002051000		IPERS COLLECTIONS	07/15/2022	2300049	121001638	34,134.82	employee share ipers
		81000002052300		CITY OF BETTENDORF/125 PLAN	07/29/2022	117536	20220729	4,368.67	PAYROLL SUMMARY
		81000002052300		ICMA RETIREMENT TRUST - 457	07/15/2022	2300041	782036	58,628.59	457 contributions
<b>LIABILITY CLEARING ACCT. - Summary</b>								<b>492,567.40</b>	
	LIFE FITNESS CTR FUND	57000002211000		TREASURER, STATE OF IOWA	07/21/2022	2300037	0-001-452-550	895.15	june sales tax - lfc
<b>LIFE FITNESS CTR FUND - Summary</b>								<b>895.15</b>	
	PALMER HILLS GOLF COURSE	56000002211000		TREASURER, STATE OF IOWA	07/21/2022	2300037	0-001-452-550A	9,088.86	june sales tax - phgc
<b>PALMER HILLS GOLF COURSE - Summary</b>								<b>9,088.86</b>	
		52000002211000		TREASURER, STATE OF IOWA	07/18/2022	2300021	1331396	4,227.91	Quarterly -04/01-06/30
	SEWER UTILITY	52000001139900		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017G	15.24	sewer collection write off
		52000001130500		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017D	-48.52	sewer collection payment
<b>SEWER UTILITY - Summary</b>								<b>4,194.63</b>	
		55000002211000		TREASURER, STATE OF IOWA	07/18/2022	2300021	1331396B	49.86	Quarterly -04/01-06/30
	SOLID WASTE/ RECYCLING ENT	55000001130500		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017E	-82.61	garbage collection pymnt
		55000002219900		WASTE COMMISSION OF SCOTT CO.	08/03/2022	117655	22-B04	19,415.64	Closed loop apr, may,june 2022



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
	SOLID WASTE/RECYCLING ENT	55000001139900		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017H	36.92	garbage collection write off
<b>SOLID WASTE/RECYCLING ENT - Summary</b>								<b>19,419.81</b>	
		58000002211000		TREASURER, STATE OF IOWA	07/18/2022	2300021	1331396A	3,113.71	Quarterly -04/01-06/30
	STORM WATER UTILITY	58000001130500		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017F	-25.19	stormwater collection payment
		58000001139900		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017I	12.45	storm water collection write off
<b>STORM WATER UTILITY - Summary</b>								<b>3,100.97</b>	
<b>- Summary</b>								<b>555,089.89</b>	
		40050504802290	PW0571	SNYDER & ASSOCIATES, INC.	08/03/2022	117634	122.0380.08-4	3,375.00	#4 DT TRANSPORTATION PLAN PH1 THRU 06/30
		40050504802299	PW0507	NEEDHAM EXCAVATING, INC.	08/03/2022	117615	4	8,049.14	PE #4 RETAINAGE FOREST GROVE ELEM TURN LANE
		40050504802304	CD0104	GENERAL TRAFFIC CONTROLS INC	08/03/2022	117570	22288	3,337.00	FIBER CABINET
		40050504802299	PW0507	NEEDHAM EXCAVATING, INC.	08/03/2022	117615	3	3,790.50	PE #3 FINAL FOREST GROVE ELEM TURN LANE
		40050504802299	AD0004	TAYLOR RIDGE PAVING	08/03/2022	117638	22247	17,900.00	SEALING AND STRIPING parking lot
		40050504802299	PW0381	HAHN READY MIX COMPANY	08/03/2022	117577	417225	323.13	LIGHTING CONTROL CABINET FOUNDATION
		40050504802215	PW0404	SUNBELT RENTALS, INC.	08/03/2022	117636	127424459-0001	1,136.49	EQUIPMENT RENTAL
		40050504802299	PW0517	LANGMAN CONSTRUCTION COMPANY	08/03/2022	117598	9	19,475.01	PE #9 FINAL 2021 STREET RESURFACING
		40050504802299	PW0381	DAVENPORT ELECTRIC CONTRACT	08/03/2022	117560	48912	4,700.00	FOREST GROVE TEMP TRAFFIC SERVICES
		40050504807074	PW0381	METRO WIRE & CABLE CORP	08/03/2022	117603	55101765	9,905.03	WIRE FOR LIGHTING SERVICE ON FOREST GROVE
		40050504802307	PW0404	PETERSEN MANUFACTURING CO., INC.	08/03/2022	117617	83419	2,466.00	steel trash cans for i74
		40050504802299	PW0518	HAWKEYE PAVING CORPORATION	08/03/2022	117579	10	3,800.00	PE #10 FINAL 2021 FULL DEPTCH PATCH



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
	CAPITAL PROJECTS	40050504802304	CD0082	HALIFAX SECURITY INC.	08/03/2022	117578	0414244-IN	15,552.00	#6 TRAFFIC FLOW CAMERAS & ACCESS	
	<b>CAPITAL PROJECTS</b>	<b>- Summary</b>							<b>93,809.30</b>	
CAPITAL PROJECTS	DOWNTOWN IMPROVEMENTS	00350504802299	DT0033	LANGE SIGN GROUP, INC.	08/03/2022	117597	30884	6,394.00	#2 city entry signage	
		00350504802299	DT0032	CORN CRIB NURSERY	07/20/2022	117462	4424	1,013.00	IRRIGATION START & REPAIR	
	<b>DOWNTOWN IMPROVEMENTS</b>	<b>- Summary</b>							<b>7,407.00</b>	
<b>CAPITAL PROJECTS</b>	<b>- Summary</b>							<b>101,216.30</b>		
		00141014602307		RACOM	08/03/2022	117625	RI-220526	153.00	BEON ACCESS FOR CITY ADMINISTRATOR, D.PLOEHN	
		00141014602340		LOGO PRO, LLC	08/03/2022	117601	19521	2,365.50	LOGO MERCHANDISE - BALL CAPS	
		00141014602254		PPG CRANBERRY REGIONAL OFFICE AP	08/03/2022	117619	PPG OVERPAYMENT	375.00	PPG Overpayment on business license	
CITY ADMINISTRATION	GENERAL FUND	00141024612244		MERCHANT SERVICES	07/05/2022	2300022	622D	76.81	bankcard fees business lic	
		00141014601301		BETTENDORF ROTARY CLUB	08/03/2022	117550	8376	200.00	DUES & MEALS - CITY ADMIN DECKER PLOEHN	
		00141014602306		IMPERIAL	08/03/2022	117587	288002:185624	135.80	COFFEE SUPPLIES FOR CITY HALL AND POLICE DEPT.	
		00141014602340		LOGO PRO, LLC	08/03/2022	117601	19518	457.50	LOGO MERCHANDISE WIRELESS CHARGERS	
	<b>GENERAL FUND</b>	<b>- Summary</b>							<b>3,763.61</b>	
<b>CITY ADMINISTRATION</b>	<b>- Summary</b>							<b>3,763.61</b>		
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	LOTS 7-20	770.00	MOW FLOOD LOTS (22)	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	1950-720	105.00	1950 - 14TH ST 22-0766 INITIAL GRASS CUT	
COMMUNITY DEVELOPMENT	GENERAL FUND	00130034542299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	22003819	35.27	CITATION SERV 22-0614 GRANT GUTIERREZ 6/22	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	3446-717	500.00	3446 GLENBRK CIRCLE N INITIAL GRASS CUT 22-0636	
		00130034542299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	22003720	35.27	CITATION SERVICE KEEGAN 22-0516 6/21	



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
COMMUNITY DEVELOPMENT	GENERAL FUND	00130064162303		ICC	08/03/2022	117585	1001522868	452.00	BLDG CODE BOOKS 2021 IBC COMMENTARY COMBO VOL1&2(2)	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	3384-617	500.00	3384 GLENBRK CIRCLE N INITIAL GRASS CUT 22-0455	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	3150-617	600.00	3150 GLENBROOK CIR N INITIAL GRASS CUT 22-0515	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	1303-719	35.00	1303 DEVILS GLEN RD LAWN RECUT 22-0503	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	3352-617	1,200.00	3352 GLENBROOK CIR N INITIAL GRASS CUT 22-0514	
		00130034542299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	22003155	41.04	CITATION SERV ATTEMPT WILSON 21-0738 6/20	
		00130064162307		ADVANTAGE ADVERTISING	08/03/2022	117545	1986511AV9	41.20	SAFETY VESTS - BLDG LOGO	
		00130014542306		CULLIGAN OF DAVENPORT	08/03/2022	117557	0488934	24.95	BOTTLED WATER	
		00130034542299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	22003147	35.27	CITATION SERV ATTEMPT HUDSON 22-0313 6/20	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	1108-714	35.00	1108 PARKWAY DR CLEAN UP FLOOD LOT	
		00130034542299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	22003163A	70.54	CITATION SERV ATTEMPT BUCKLEY 21-0738 6/20	
		00130064162244		MERCHANT SERVICES	07/05/2022	2300022	622A	2,154.15	bankcard fees inspections	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	1219-720	105.00	1219 DEVILS GLEN RD INITIAL GRASS CUT 22-0767	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	1867-722	875.00	1867 KINGS DR 22-0780 DEBRIS REMOVAL PER MDH	
		00130034542299		KIMBERLY'S KLEANING	08/03/2022	117595	3458-717	500.00	3458 GLENBRK CIRCLE N INITIAL GRASS CUT 22-0635	
		<b>GENERAL FUND - Summary</b>							<b>8,114.69</b>	
		<b>COMMUNITY DEVELOPMENT - Summary</b>							<b>8,114.69</b>	
ECONOMIC DEVELOPMENT	BURLINGTON COAT TIF	24635024512299		DUCK CREEK II INVESTORS LLC	07/20/2022	117463	063022	42,926.50	june 22 tif payment	
		<b>BURLINGTON COAT TIF - Summary</b>							<b>42,926.50</b>	



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
ECONOMIC DEVELOPMENT	CDCQC LLC TIF	23635024512299		CDCQC, LLC	07/20/2022	117460	063022A	11,845.00	tif rebate 2nd 1/2 tapes after june 1st 22
	CDCQC LLC TIF	- Summary						<b>11,845.00</b>	
<b>ECONOMIC DEVELOPMENT</b>	<b>- Summary</b>							<b>54,771.50</b>	
		55511024942307		TOTAL AQUARIUM MAINTENANCE	08/03/2022	117645	671074	41.00	FISH TANK SERVICE
		55511024942307		TESKE PET & GARDEN CENTER	08/03/2022	117640	2-1570702	2.67	CAMP DIRT DIGGERS
FAMILY MUSEUM	FMLY MUSEUM/ARTS & SCIENCE	55511014942306		BETTENDORF OFFICE PRODUCTS, INC	08/03/2022	117549	0469823-001	16.13	OFFICE SUPPLIES
		55511014942244		VANTIV INTEGRATED PAYMENTS	07/06/2022	2300024	622B	1,387.56	bankcard fees museum
		55511014942307		QUADIENT LEASING USA	08/03/2022	117624	N9482204	200.28	POSTAGE METER LEASE
	FMLY MUSEUM/ARTS & SCIENCE	- Summary						<b>1,647.64</b>	
<b>FAMILY MUSEUM</b>	<b>- Summary</b>							<b>1,647.64</b>	
		00102014612244		MERCHANT SERVICES	07/05/2022	2300022	622F	7.86	bankcard fees 1% sw1 sw2 sw2
		00102024612307		CULLIGAN OF DAVENPORT	08/03/2022	117557	0489155	14.15	water
		00102024612307		ADVANTAGE ADVERTISING	08/03/2022	117545	199741AV9	956.67	employee city cloths
	GENERAL FUND	00102024612306		OFFICE EXPRESS OFFICE PRODUCTS	08/03/2022	117616	242573-0	21.63	stapler
		00102024612307		CULLIGAN OF DAVENPORT	08/03/2022	117557	0489432	14.15	water
FINANCE		00102024612307		CINTAS FIRST AID & SAFETY #D89	08/03/2022	117553	8405776561	106.46	First aid supplies
		00102024612307		DES MOINES STAMP MFG COMPANY	08/03/2022	117562	1197822	32.90	Alex Smith Notary
	GENERAL FUND	- Summary						<b>1,153.82</b>	
		68802314942130		REVIZE LLC	07/20/2022	117467	13934	5,900.00	WEBPAGE: ANNUAL FEES for service
	INFORMATION SERVICES	68802314942130		FRONTLINE TECHNOLOGIES GROUP LLC	07/20/2022	117464	INVUS159153	16,299.75	ANNUAL LICENSE AGREEMENT
		68802314942130		SUPERION, LLC	08/03/2022	117637	358034	6,663.09	COGNOS BI BASE BUNDLE



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		<b>INFORMATION SERVICES - Summary</b>						<b>28,862.84</b>	
		52002044902244		AUTHORIZE.NET	07/05/2022	2300023	622	31.70	online pymt gateway
	SEWER UTILITY	52002044902204		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017A	217.89	agency fee sewer
		52002044902130		TYLER TECHNOLOGIES	08/03/2022	117649	025-379476	8,830.06	TYLER ANNUAL SUPPORT
FINANCE		52002044902244		MERCHANT SERVICES	07/05/2022	2300022	622G	857.17	bankcard fees ut sw1 sw2
	<b>SEWER UTILITY - Summary</b>							<b>9,936.82</b>	
		58002194932130		TYLER TECHNOLOGIES	08/03/2022	117649	025-379476B	8,830.06	TYLER ANNUAL SUPPORT
	STORM WATER UTILITY	58002194932204		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017C	44.13	agency fee stormwater
	<b>STORM WATER UTILITY - Summary</b>							<b>8,874.19</b>	
<b>FINANCE</b>	<b>- Summary</b>							<b>48,827.67</b>	
		00104144142312		MOLO OIL COMPANY	08/03/2022	117610	0030331-IN	105.30	FLOOR DRY
		00104134142310		GENESIS HEALTH SYSTEM	08/03/2022	117572	I2 12111	43.37	PHARMACY
		00104154142101		RAYNOR DOOR CO., INC. OF THE QC	08/03/2022	117626	132568	255.00	BAY DOOR REPAIR/ST4
		00104134141303		STIFEL, CREIGHTON	08/03/2022	117635	052522	974.01	REIMB EMT COURSE & CERTS
	GENERAL FUND	00104154142307		PS3 ENTERPRISES, INC	08/03/2022	117621	135151	86.00	UNIT RENTAL/TC
FIRE		00104154142299		IMAGETREND	08/03/2022	117586	136388	3,605.00	ANNUAL FEE TECH NEW WORLD/TYLER
		00104154142307		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-404102	49.38	COOLANT
		00104154142101		IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184481	40.00	BOILER INSP/ST4
		00104144142312		MOLO OIL COMPANY	08/03/2022	117610	0030323-IN	9.95	FLOOR DRY
	<b>GENERAL FUND - Summary</b>							<b>5,168.01</b>	
<b>FIRE</b>	<b>- Summary</b>							<b>5,168.01</b>	
HUMAN	GENERAL FUND	00142014662290		TRUENORTH	08/03/2022	117648	125305	6,000.00	BENEFITS QUARTERLY CONSULTING



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
									FEE Q3 2022
		00142014662342		LOGO PRO, LLC	08/03/2022	117601	19253	153.00	LOGO MERCHANDISE - TABLE COVER
RESOURCES	GENERAL FUND	00142014662203		POCH STAFFING, INC.	08/03/2022	117618	515-5160-1339	1,100.00	TESTING FOR FINANCE REVENUE CLERK POSITION
		00142014661304		RICHLIN, KATHLEEN	07/20/2022	117468	06302022	340.32	NPELRA Conference Reimbursements
		00142014662213		GENESIS HEALTH GROUP	08/03/2022	117571	25187615	291.00	PRE-EMPLOYMENT SCREENING PD
	GENERAL FUND	- Summary						<b>7,884.32</b>	
<b>HUMAN RESOURCES</b>	<b>- Summary</b>						<b>7,884.32</b>		
LIBRARY	GENERAL FUND	00106014402244		MERCHANT SERVICES	07/05/2022	2300022	622B	154.88	bankcard fees library
	GENERAL FUND	- Summary						<b>154.88</b>	
<b>LIBRARY</b>	<b>- Summary</b>						<b>154.88</b>		
		68601064942294		DELTA DENTAL	07/15/2022	2300029	352050000002048	4,106.77	denatal claims 07/06- 07/11/22
		68601064942294		DELTA DENTAL	07/08/2022	2300028	352050000002047	6,903.46	denatal claims 06/28- 07/05/22
		68601064942218		INTERNAL REVENUE SERVICE	07/08/2022	2300027	073022	1,242.22	pcori tax, plan year ending 02/28/21
		68601064942296		EMPLOYEE BENEFIT SYSTEM	07/08/2022	2300035	0706	2,083.54	vision claims cks 2266-2273
		68601064942296		EMPLOYEE BENEFIT SYSTEM	07/14/2022	2300036	07132022	575.40	vision claims cks 2274-2277
	EMPLOYEE INSURANCE	68601064942298		MEDTRAK SERVICES	07/21/2022	2300026	071522A	24,226.91	Pharmacy claims 07/01 -07/15/22
MAYOR & COUNCIL		68601064942281		WELLMARK BLUE CROSS & BLUE SHIELD	07/15/2022	2300031	07082022	61,662.43	medical claims, 07/02- 07/08/2022
		68601064942283		MEDTRAK SERVICES	07/21/2022	2300026	071522B	667.50	admin fees 07/01 -07/15/22
		68601064942297	COVID	VARNER, ASHLEY	08/03/2022	117653	153749	32.07	ASHLEY VARNER COVID TESTS REIMBURSEMENT
		68601064942281		WELLMARK BLUE CROSS & BLUE SHIELD	07/08/2022	2300030	07012022	66,028.70	medical claims, 07/01- 07/01/2022
		68601064942283		EMPLOYEE BENEFIT SYSTEM	08/03/2022	117569	000034524	821.34	VISION CLAIMS
	EMPLOYEE INSURANCE	- Summary						<b>168,350.34</b>	
	GENERAL FUND	00101014602213		GRABER, EDMUND C.	08/03/2022	117573	072522	1,832.00	CONSULTING SERVICES JULY 1 - 31, 2022



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
MAYOR & COUNCIL	GENERAL FUND	00101014602213		ASCAP	08/03/2022	117547	192000385346	14.37	LICENSE FEE ADJUSTMENT CPI - ACCT. 500602418	
		00101014602340		HY-VEE, INC. PW & AD	08/03/2022	117584	071522	75.00	funeral arrangement Roy wennlund mom	
		00101014602213		QUAD CITIES CHAMBER OF COMMERCE	08/03/2022	117622	93402	52,256.49	QC CHAMBER BUSN & ECON INVESTMENT FY23 GROWTH	
	<b>GENERAL FUND</b>	<b>- Summary</b>							<b>54,177.86</b>	
	RISK MANAGEMENT		68401054942292		IMWCA	08/03/2022	117588	INV85872	375.00	LARGE DED PMT FY1718 6/1/2022-6/30/2022
			68401054942292		IMWCA	08/03/2022	117588	INV85871	541.00	LARGE DED PMT FY1314 6/1/2022-6/30/2022
			68401054942292		IMWCA	08/03/2022	117588	INV85870	243.40	LARGE DED PMT FY1819 6/1/2022-6/30/2022
			68401054942276		TRI-CITY ELECTRIC CO	08/03/2022	117646	272157	4,000.00	ACCIDENT #21-10110 12TH & GRANT LIGHT & PED POLE
		<b>RISK MANAGEMENT</b>	<b>- Summary</b>							<b>5,159.40</b>
	<b>MAYOR &amp; COUNCIL</b>	<b>- Summary</b>							<b>227,687.60</b>	
PARKS & RECREATION	GENERAL FUND	00107404462307	FEST01	NATIONAL SPORTS PRODUCTS	08/03/2022	117614	366385	100.00	TIES FOR 4TH OF JULY	
		00107404462299	FEST01	N.J. MILLER INC.	08/03/2022	117613	NJ22024	775.00	ISLE ACCESS ROAD GRADING	
		00107404462307	FEST01	RIVERBEND SIGNWORKS	08/03/2022	117629	17251	98.82	GRAND MARSHAL MAGNETS	
	<b>GENERAL FUND</b>	<b>- Summary</b>							<b>973.82</b>	
	LIFE FITNESS CTR FUND	57007034942244		MERCHANT SERVICES	07/05/2022	2300022	622E	60.57	bankcard fees rec online	
	<b>LIFE FITNESS CTR FUND</b>	<b>- Summary</b>							<b>60.57</b>	
	PALMER HILLS GOLF COURSE		56007114942244		VANTIV INTEGRATED PAYMENTS	07/06/2022	2300024	622	7,369.10	bankcard fees golf
		56007114942244		MERCHANT SERVICES	07/05/2022	2300022	622C	856.30	bankcard fees golf range balls	
		56007154941208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522G	100.57	unemployment/hamilton, jessie I	
		56007134942244		VANTIV INTEGRATED PAYMENTS	07/06/2022	2300024	622A	2,589.15	bankcard fees grill	



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
		<b>PALMER HILLS GOLF COURSE - Summary</b>						<b>10,915.12</b>		
PARKS & RECREATION	ROAD USE FUND	20607084201208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522E	688.00	unemployment/bates,m	
		20607084202299		A CUT ABOVE LAWN AND LANDSCAPE	08/03/2022	117544	10111841	2,051.00	#6 ROW MOWING JULY 11&18	
		<b>ROAD USE FUND - Summary</b>						<b>2,739.00</b>		
<b>PARKS &amp; RECREATION</b>		<b>- Summary</b>						<b>14,688.51</b>		
POLICE	GENERAL FUND	00103154102306		OFFICE EXPRESS OFFICE PRODUCTS	08/03/2022	117616	242043-0	10.94	MARKERS	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109233-02	324.05	UNIFORM/PHIPPS	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109538-03	55.50	UNIFORM/BALLARD	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	110244		1,184.35	UNIFORM/BILLINGSLEY
		00103154102307		LANGE SIGN GROUP, INC.	08/03/2022	117597	30867		262.00	ADA SIGNS
		00103154102299		HUMANE SOCIETY OF SCOTT COUNTY	08/03/2022	117583	1619		3,726.56	MONTHLY FEE (JUNE)
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	110048		260.64	UNIFORM/WADSAGER
		00103164102307		MUNICIPAL ELECTRONICS DIVISION LLC	08/03/2022	117612	068601		725.00	RADAR/LIDAR RECERT
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109458		245.85	UNIFORM/PAVLICH
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109591-02		569.50	UNIFORM/HOPKINS
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109531-02		322.00	UNIFORM/RAWLS
		00103154102299		SCOTT COUNTY SHERIFF'S OFFICE	08/03/2022	117633	2022-151		1,550.00	BOOKING FEES (JUNE)
		00103114102104		DENT RELIEF	08/03/2022	117561	25104		260.00	FENDER REPAIR/SQD 207 CITY VEH 22112
		00103104101303		IOWA LAW ENFORCEMENT ACADEMY	08/03/2022	117590	321278		175.00	FIREARMS INSTR RECERT
		00103154102308		BRANDING MERCHANDISE	08/03/2022	117551	135977A		23.42	SHIPPING
00103154102306		OFFICE EXPRESS OFFICE PRODUCTS	08/03/2022	117616	241837-0		22.78	DESK PADS, HIGHLIGHTERS		



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description	
POLICE	GENERAL FUND	00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	110399	17.00	UNIFORM/WILDEN	
		00103154102299		HUMANE SOCIETY OF SCOTT COUNTY	08/03/2022	117583	1618	3,726.56	MONTHLY FEE (MAY)	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109242-03	990.75	UNIFORM/SAID	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109530-02	161.00	UNIFORM/BUCKLES	
		00103154102299		TRITECH SOFTWARE SYSTEMS	08/03/2022	117647	355879	1,462.28	annual maintenance suppor fee	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	110213	10.00	INSIGNIA/BUCKLES	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109552-03	55.50	UNIFORM/CONNELL	
		00103114102104		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403827	10.04	WIPER BLADES/SQD 204 CITY VEH 21817	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109531-03	55.50	UNIFORM/RAWLS	
		00103114101209		UNIFORM DEN, INC.	08/03/2022	117652	109288	159.90	UNIFORM/WILDEN	
	<b>GENERAL FUND</b>	<b>- Summary</b>						<b>16,366.12</b>		
<b>POLICE</b>	<b>- Summary</b>								<b>16,366.12</b>	
PUBLIC WORKS	AQUATIC CENTER FUND	57505254942101	2200PL	HOMETOWN PLG & HTG CO INC	08/03/2022	117582	68293	835.00	SPLASH LANDING BOILER REP AIR	
		57505254942101	2200PL	IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496	40.00	SPLASH LANDING BOILER INS P	
		<b>AQUATIC CENTER FUND</b>	<b>- Summary</b>						<b>875.00</b>	
	FMLY MUSEUM/ARTS & SCIENCE	55505264942299	2301FM	MILLENNIUM WASTE, INC.	08/03/2022	117607	3354292T081	193.07	MUSEUM DUMPSTER	
55505254942101		2200FM	ECONOMY ROOFING	08/03/2022	117567	11152	692.00	FAMILY MUSEUM ROOF REPAIR		
55505254942101		2200FM	IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496E	80.00	FAMILY MUSEUM BOILER INSP ECTION		
	<b>FMLY MUSEUM/ARTS &amp; SCIENCE</b>	<b>- Summary</b>						<b>965.07</b>		
GENERAL FUND	00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135157	77.00	LEACH		
	00105254642101	2200CH	WALT LAMBACH FIRE PROTECTION	08/03/2022	117654	55014	28.00	CITY HALL PD FIRE EXTINGU ISHERS		



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		00105724422299		MILLENNIUM WASTE, INC.	08/03/2022	117607	3354289T081	257.50	DUMPSTER - PARKS MAINT
		00105724421208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522D	688.00	unemployment/bates,m
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135164	164.53	21ST ST SOCCER FIELDS
		00105724422299		S J SMITH CO. INC.	08/03/2022	117631	651419	63.00	GAS, O2 SUPPLY
		00105264642299	2301CH	MILLENNIUM WASTE, INC.	08/03/2022	117607	3354298T081	87.55	CITY HALL DUMPSTER
		00105264642299	2301MC	CINTAS LOC 23M	08/03/2022	117554	4124723950	105.04	MAINT CENTER FLOOR MATS
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135159	77.00	VETERANS PARK
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135155	154.00	SOCCER COMPLEX
		00105724422307		ULINE, INC.	08/03/2022	117651	150633395	1,570.28	TRASH CANS
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135265	194.10	OLD VILLAGE INN
		00105254642101	2300LB	KONE INC.	08/03/2022	117596	921478230	1,989.00	LIBRARY ELEVATOR REPAIR D UE TO RESCUE
PUBLIC WORKS	GENERAL FUND	00105264642307	2301LB	THE HOME DEPOT PRO	08/03/2022	117641	693600058	339.84	LIBRARY TOILET PAPER
		00105264642299	2201LB	CINTAS LOC 23M	08/03/2022	117554	4123116672	665.85	LIBRARY MATS
		00105254642101	2200CH	ECONOMY ROOFING	08/03/2022	117567	11153	610.00	CITY HALL ROOF REPAIR
		00105254642101	2300MC	REPUBLIC COMPANIES	08/03/2022	117627	6167781-00	87.21	MAINT CENTER CONDUIT
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135165	35.29	HOPEWELL ELEMENTARY
		00105724422299		CINTAS LOC 23M	08/03/2022	117554	4125444099	49.31	MATS, TOWELS
		00105724422299		MILLENNIUM WASTE, INC.	08/03/2022	117607	3354667T081	44.00	DUMPSTER - VETS PARK
		00105724422299		DEVILS GLEN STORAGE	08/03/2022	117563	53314128A	103.50	STORAGE UNITS
		00105254642101	2200MC	J.L. BRADY COMPANY LLC	08/03/2022	117593	84852	210.00	MAINT CENTER 80T REPAIR
		00105724422299		DEVILS GLEN STORAGE	08/03/2022	117563	54750666	103.50	STORAGE UNITS
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135153	201.00	CROW CREEK DOG PARK
		00105724422310		CINTAS FIRST AID & SAFETY #D89	08/03/2022	117553	8405776564	73.56	FIRST AID SUPPLIES



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
PUBLIC WORKS	GENERAL FUND	00105264642307	2301CH	GRAINGER	08/03/2022	117574	9367716769	405.74	CITY HALL TRANIST CAN DOL LY
		00105724422299		DEVILS GLEN STORAGE	08/03/2022	117563	54780322	652.50	STORAGE UNITS
		00105254642101	2200CH	IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496D	40.00	CITY HALL BOILER INSPECTI ON
		00105724422325		D & K PRODUCTS	08/03/2022	117559	0548470-IN	360.00	POND COLORANT
		00105254642101	2200MC	IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496B	120.00	MAINT CENTER BOILER INSP
		00105724422325		CLESEN HOLDINGS, LLC	07/20/2022	117461	367428	582.00	Seed for fields
		00105724422299		MILLENNIUM WASTE, INC.	08/03/2022	117607	3354325T081	257.50	DUMPSTER- DG PARK
		00105724421208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522A	1,177.12	unemployment/vanwetzinga
		00105254642299	2200MC	THYMET PEST CONTROL	08/03/2022	117643	129784	58.00	MAINT CENTER PEST CONTROL
		00105264642299	2301CH	CINTAS LOC 23M	08/03/2022	117554	4125301709	68.10	CITY HALL FLOOR MATS
		00105724422307		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-404294	133.99	BATTERY FOR VENTNAC
		00105254642101	2300CH	DOORS INC.	08/03/2022	117564	321615	998.52	CITY HALL PD DOOR
		00105724422299		GREEN VALLEY CONSTRUCTION INC	08/03/2022	117575	2195	1,375.00	LEACH PARK PAINTING
		00105724421208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522F	966.00	unemployment/miller,s
		00105264642299	2301LB	MILLENNIUM WASTE, INC.	08/03/2022	117607	3354293T081	209.60	LIBRARY DUMPSTER
		00105254642101	2200LB	IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496C	80.00	LIBRARY BOILER INSP
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135154	112.29	LOWERY FIELD
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135161	124.00	LINCOLN PARK
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135158	77.00	CROW CREEK PARK DIAMOND 1
		00105264642299	2301CC	MILLENNIUM WASTE, INC.	08/03/2022	117607	3354291T081	61.80	COMM CENTER DUMPSTER
00105724422323		TNT LANDSCAPING	08/03/2022	117644	39435	928.63	PARTS FOR VENTNAC		



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135162	35.29	RIVERDALE HEIGHTS SCHOOL
	GENERAL FUND	00105724422299		DEVILS GLEN STORAGE	08/03/2022	117563	53340886A	652.50	STORAGE UNITS
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135160	132.43	MIDDLE PARK PLAYGROUND
		00105724422299		PS3 ENTERPRISES, INC	08/03/2022	117621	135156	124.00	CENTENNIAL GARDENS
	<b>GENERAL FUND</b>	<b>- Summary</b>						<b>17,710.07</b>	
	LIFE FITNESS CTR FUND	57005254942101	2200LF	ECONOMY ROOFING	08/03/2022	117567	11158	476.00	FITNESS CENTER ROOF REPAIR
		57005254942299	2200LF	THYMET PEST CONTROL	08/03/2022	117643	130125	295.00	FIRNESS CENTER PEST CONTR OL
	<b>LIFE FITNESS CTR FUND</b>	<b>- Summary</b>						<b>771.00</b>	
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403789	6.95	RELAY
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-400771	24.54	STABILIZER LINK
		68305204942324		INTERSTATE BATTERY OF THE	08/03/2022	117589	10053847	1,063.60	BATTERIES
PUBLIC WORKS		68305204942324		MILLS CHEVROLET COMPANY	08/03/2022	117608	CM5141156	-54.20	PAD KIT RETURN
		68305204942352		RILCO FLUID CARE, INC.	08/03/2022	117628	443550	2,717.26	DEF
		68305204942307		S J SMITH CO. INC.	08/03/2022	117631	651241	189.00	PROPANE
		68305204942104		EASTERN IOWA TIRE, INC.	08/03/2022	117565	100127432	319.50	TIRE REPAIR 1502
	MUNICIPAL GARAGE	68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403974	294.30	BRAKE ROTORS
		68305204942324		EASTERN IOWA TIRE, INC.	08/03/2022	117565	100127956	1,376.75	TIRES
		68305204942324		GRAINGER	08/03/2022	117574	9366489939	2,105.46	AIR COMPRESSOR
		68305204942324		EASTERN IOWA TIRE, INC.	08/03/2022	117565	100127356	688.80	TIRES
		68305204942324		GRAINGER	08/03/2022	117574	9350444049	416.98	SPOTLIGHT
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403824	27.87	PIGTAIL
		68305204942307		U-HAUL	08/03/2022	117650	5402044412	23.40	PROPANE
		68305204942307		QUAD CITY SAFETY, INC.	08/03/2022	117623	3054202	341.00	GLOVES



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		68305204942324		THOMPSON TRUCK & TRAILER INC.	08/03/2022	117642	X103124050:01	352.53	SWITCH
		68305204942307		LAWSON PRODUCTS, INC.	08/03/2022	117599	9309711788	467.15	MISC SHOP SUPPLIES
		68305204942324		HOGLUND BUS AND TRUCK	08/03/2022	117580	X101001069:01	446.57	V BELT
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-404040	54.08	WHEEL STUD
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403675	105.58	V BELT
		68305204942352		RILCO FLUID CARE, INC.	08/03/2022	117628	443227	286.00	DEF
		68305204942104		EASTERN IOWA TIRE, INC.	08/03/2022	117565	100127955	516.60	TIRE REPAIRS
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-404148	121.29	CALIPER
		68305204942310		CINTAS FIRST AID & SAFETY #D89	08/03/2022	117553	8405776565	129.93	FIRST AID SUPPLIES
PUBLIC WORKS	MUNICIPAL GARAGE	68305204942324		MILLS CHEVROLET COMPANY	08/03/2022	117608	5141302	210.36	COIL
		68305204942324		MIDWEST WHEEL & RIM CO	08/03/2022	117606	2863045-00	67.24	RELAY
		68305204942324		COURTESY FORD	08/03/2022	117556	324649	258.80	HOSE
		68305204942324		MILLS CHEVROLET COMPANY	08/03/2022	117608	5141156	694.41	BRAKE PADS
		68305204942104		CUMMINS INC.	08/03/2022	117558	J9-59618	1,002.31	ENGINE 3 REPAIR
		68305204942324		EASTERN IOWA TIRE, INC.	08/03/2022	117565	100127341	1,980.60	TIRES
		68305204942104		H & H CAR CARE & TOWING, LLC	08/03/2022	117576	52418	180.00	1611 TOW
		68305204942306		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-404128	79.32	S-INDLE NUT SOCKET
		68305204942324		SADLER POWER TRAIN	08/03/2022	117632	0210170525	22.83	COOLANT HOSE REDUCER
		68305204942324		HOGLUND BUS CO., INC.	08/03/2022	117581	X101001069:01	446.57	BELTS
		68305204942306		GRAINGER	08/03/2022	117574	9380722984	14.32	BATTERIES
		68305204942324		MIDWEST WHEEL & RIM CO	08/03/2022	117606	2870977-00	45.12	OIL FILTER



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
PUBLIC WORKS	MUNICIPAL GARAGE	68305204942231		CINTAS LOC 23M	08/03/2022	117554	4124723959	70.31	LAUNDRY
		68305204942324		ELLIOTT EQUIPMENT CO.	08/03/2022	117568	168428	5,884.50	HYDAULIC PUMP
		68305204942307		TERMINAL SUPPLY COMPANY	08/03/2022	117639	42958	438.37	SHOP SUPPLIES
		68305204942306		LAWSON PRODUCTS, INC.	08/03/2022	117599	9309725040	145.34	FITTINGS
		68305204942306		GRAINGER	08/03/2022	117574	9378308374	51.49	BATTERY
		68305204942231		CINTAS LOC 23M	08/03/2022	117554	4125444049	70.31	LAUNDRY
		68305204942307		MIDWEST WHEEL & RIM CO	08/03/2022	117606	2697960-00	152.78	HUB SEAL INSTALLER
		68305204942324		CARQUEST AUTO PARTS STORE	08/03/2022	117552	6604-403822	50.89	FILTER
		68305204942104		MILLS CHEVROLET COMPANY	08/03/2022	117608	6307972	1,719.54	1601 FUEL PUMP REPAIR
		68305204942324		MHC KENWORTH	08/03/2022	117604	T01135600163211	198.59	SENSOR
	<b>MUNICIPAL GARAGE - Summary</b>							<b>25,804.94</b>	
PUBLIC WORKS	PALMER HILLS GOLF COURSE	56005264942299	2201GC	CINTAS LOC 23M	08/03/2022	117554	4123116610	85.80	GOLF COURSE MAINT TOWELS
		56005254942101	2300GC	GRAINGER	08/03/2022	117574	9364921347	29.13	GOLF COURSE SOLENOID FOR GRILL
			<b>PALMER HILLS GOLF COURSE - Summary</b>						<b>114.93</b>
PUBLIC WORKS	ROAD USE FUND	20605014292306		CINTAS FIRST AID & SAFETY #D89	08/03/2022	117553	8405776563	112.71	FIRST AID SUPPLIES
		20605014292306		BETTENDORF OFFICE PRODUCTS, INC	08/03/2022	117549	0469934-001	619.49	PLOTTER INK
		20605114202307		LOGAN CONTRACTORS SUPPLY, INC.	08/03/2022	117600	A81707	126.00	BOOTS
		20605014292306		CULLIGAN OF DAVENPORT	08/03/2022	117557	0488935	69.35	WATER
		20605024251208		IOWA WORKFORCE DEVELOPMENT	07/20/2022	2300038	071522C	1,183.67	unemployment/tissue, g
		20605114202310		ALTORFER RENTS	08/03/2022	117546	PC180018451	71.59	RAIN GEAR
		20605304232108		MID AMERICAN ENERGY	08/03/2022	117605	528417050	28.75	hopewell and middle signal
		20605144232307		IOWA PRISON INDUSTRIES	08/03/2022	117591	031960	2,412.80	SIGNS



# City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
		20605304232307		MOBOTREX, INC.	08/03/2022	117609	259424	357.14	REPAIR OF CAMERA TOOL
		20605304232108		MID AMERICAN ENERGY	07/20/2022	117466	527348007	2.00	hopwell and middle signal
	ROAD USE FUND	20605114202307		RIVERSTONE GROUP INC.	08/03/2022	117630	1141253	510.30	UPM
		20605114202307		MANATTS, INC.-EASTERN IOWA ASPHALT	08/03/2022	117602	5068275	1,113.75	C3WR
		20605114202307		LOGAN CONTRACTORS SUPPLY, INC.	08/03/2022	117600	A80793	900.72	STREET SUPPLIES
	<b>ROAD USE FUND</b>	<b>- Summary</b>						<b>7,508.27</b>	
	SEWER UTILITY	52005104902310		PREMIER SAFETY	08/03/2022	117620	04216727	231.45	MULTIGAS PM
	<b>SEWER UTILITY</b>	<b>- Summary</b>						<b>231.45</b>	
		55005094912244		MERCHANT SERVICES	07/05/2022	2300022	622H	884.87	bankcard fees recycle sw1 sw2 50% pw
		55005164912299		CITY OF DAVENPORT	08/03/2022	117555	1330613	4,440.00	MAY YARD WASTE
	SOLID WASTE/ RECYCLING ENT	55005094912204		MUNICIPAL COLLECTIONS OF AMERICA	08/03/2022	117611	56017B	217.13	agency fee garbage
		55005064912130		TYLER TECHNOLOGIES	08/03/2022	117649	025-379476A	8,830.06	TYLER ANNUAL SUPPORT
		55005094912310		CINTAS FIRST AID & SAFETY #D89	08/03/2022	117553	8405776562	70.84	FIRST AID SUPPLIES
	<b>SOLID WASTE/RECYCLING ENT</b>	<b>- Summary</b>						<b>14,442.90</b>	
		58005194932299		ZIMMER & FRANCESCON, INC.	08/03/2022	117656	0170143-IN	524.42	SENSOR FOR PUMP STATION
	STORM WATER UTILITY	58005194932307		GRAINGER	08/03/2022	117574	9364921321	28.91	RUBBER BOOTS
		58005194932244		MERCHANT SERVICES	07/05/2022	2300022	622I	857.18	bankcard fees strm wtr sw1 sw2
	<b>STORM WATER UTILITY</b>	<b>- Summary</b>						<b>1,410.51</b>	
		58505074922244		MERCHANT SERVICES	07/05/2022	2300022	622J	27.70	bankcard fees 50% pw
	TRANSIT	58505474922106		IOWA WORKFORCE DEVELOPMENT DIVISION	08/03/2022	117592	184496A	40.00	CARWASH BOILER INSP
		58505274922105		ECK'S AUTO SHINE	08/03/2022	117566	259	200.00	BUS CLEANING 7/9 & 7/16
	<b>TRANSIT</b>	<b>- Summary</b>						<b>267.70</b>	



## City of Bettendorf Council Accounts Payable, 08/02/2022 Meeting

Department	Fund	Account Number	Project #	Vendor Name	Ck Date	Ck #	Invoice Number	Amount	Description
PUBLIC WORKS	- Summary							70,101.84	
Overall - Summary								1,115,482.58	

**City of Bettendorf**  
**Accounts Payable Listing**  
**08/02/22 Council Meeting**

Date: 7/29/2022

ACCT #	ect PRC	CK #	VENDOR	CK DATE	INV #	AMOUNT	DESCRIPTION
590-0000-221.10-00		2300025	TREASURER, STATE OF IOWA	7/29/2022	0-001-405-969	3,910.13	sales tax 06/15-06/30/22
<b>Total for Fund</b>			<b>590</b>			<b>3,910.13</b>	
<b>QC WATERFRONT CONVENTION</b>							
<b>Department</b>			<b>N/A</b>				
<b>Total for Department</b>						<b>3,910.13</b>	
590-2001-494.21-06		3403	IOWA WORKFORCE DEVELOPMEN	8/3/2022	184491	80.00	Boiler Inspection
590-2001-494.21-08		3404	MID AMERICAN ENERGY	8/3/2022	527565887	16,208.89	QCWCC Power Bill
590-2001-494.21-11		3402	IOWA AMERICAN WATER COMPAN	8/3/2022	689142JUNE	1,055.17	QCWCC Water Bill
<b>Total for Fund</b>			<b>590</b>			<b>17,344.06</b>	
<b>QC WATERFRONT CONVENTION</b>							
<b>Department</b>							
<b>Total for Department</b>						<b>17,344.06</b>	
<b>Grand Total</b>						<b>21,254.19</b>	

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
001-0000-352.06-20		FRIENDS OF THE BETTENDORF PARK	117515	7/27/2022	072122	200.00	REIMBURSEMENT OF DOGTOBER
001-0525-464.21-08	2200CC	MID AMERICAN ENERGY	117496	7/20/2022	0948077018JUN22	108.95	Community Center
001-0525-464.21-08	2200CC	MID AMERICAN ENERGY	117496	7/20/2022	0969077019JUN22	582.94	Community Center - Bldg
001-0525-464.21-08	2200PM	MID AMERICAN ENERGY	117496	7/20/2022	2628077011JUN22	26.73	CC Pk Garage Pk Maint
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0045153004JUN22	10.00	Eagles Landing Shelter
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0322079001JUN22	12.78	Dog Park Lights
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0400125000JUN22	11.12	Lincoln Park Splash Pad
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0408058021JUN22	238.78	CC Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0459012030JUN22	14.23	Middle Park Gazebo
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0632145009JUN22	31.53	6000 Forest Grove Rd
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0763124005JUN22	61.87	CC Pk Entrance Restroom
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0839154004JUN22	10.00	CC Park Lights Field 7
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	0927077017JUN22	69.46	Scheck Park Shelter &
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1032077013JUN22	56.52	VMP Band Shell
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1179077017JUN22	14.58	Park Lagoon North Fountai
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1200077016JUN22	56.58	DG Park Garage
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1221077017JUN22	340.53	DG Park Baseball Field
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1242077018JUN22	22.90	DG Park Stone House
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1263077019JUN22	60.10	Leach Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1305077018JUN22	64.22	Edgewood Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1331090009JUN22	190.60	CC Park Lights Field 5
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1363053047JUN22	904.87	Riverfront Trail Lights
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1368027009JUN22	48.04	CC Park Lights 4 Plex
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1452077013JUN22	34.44	Leach Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1746077019JUN22	1,141.49	Street Lights Parks Dept
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1767077010JUN22	290.82	DG Park Archery Bldg
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1788077011JUN22	42.43	Park Lagoon Warming
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1872077013JUN22	49.26	Meier Park 600 Grant
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	1938097007JUN22	10.00	Frozen Landing Parking Lo
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2031156000JUN22	14.93	Bush Scenic Overlook
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2040077019JUN22	158.13	CC Park Lights Field 1
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2061077010JUN22	56.81	CC Park Shelter 3 and
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2082077011JUN22	21.71	CC Park Irrigation and

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	229077029JUN22	10.22	DG Park Shelter 1
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2250077014JUN22	13.11	CC Park 4Plex Parking
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2271077015JUN22	21.94	CC Park Garage/Pump
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2355077023JUN22	10.00	DG Park Shelter 2
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2418077016JUN22	11.78	McManus Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2473159007JUN22	41.01	CC Pk Dog Park Lights
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2586077012JUN22	45.69	McManus Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	2843096000JUN22	10.55	Centennial Garden
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	3207166036JUN22	11.01	Park Lagoon South Fountai
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	3578121009JUN22	16.69	Field Sike Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	4755166000JUN22	10.44	Middle Pk Playground
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	5076157007JUN22	287.10	CC Park Dekhockey &
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	5112101010JUN22	33.64	DG Park Restroom
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	5718088005JUN22	85.74	CC Park Concession
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	6684072018JUN22	10.00	Optimist Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	7118127018JUN22	189.60	Kiwanis Park
001-0572-442.21-08		MID AMERICAN ENERGY	117496	7/20/2022	7653169001JUN22	49.71	Forest Grove Park
001-0572-442.22-99		PETERSEN PLUMBING & HEATING	117500	7/20/2022	226666S	726.00	DEWINTERIZE SPLASH PAD AT
001-0572-442.22-99		PS3 ENTERPRISES, INC	117671	8/3/2022	135264	114.88	DEK HOCKEY TOLIETS - JUNE
001-0572-442.22-99		PS3 ENTERPRISES, INC	117671	8/3/2022	135264A	114.87	DEKHOCKEY TOILETS - JULY
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	201839	35.46	KEYS AND CLEANER
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	202231	40.99	LOCK SET
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	202278	17.91	SLIDE PROTECTION
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	202802	40.46	PAINT AND GREASE
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	202966	18.47	PAINT SUPPLIES - GRAFFITI
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	203218	17.98	2 WATER JUGS
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	203504	32.95	CLEANING SUPPLIES
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	203888	73.61	PAINT AND TAPE
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	203967	323.82	GRILL BRUSH, TRASH CAN, M
001-0572-442.23-07		K & K HARDWARE	117492	7/20/2022	063022DISC	-101.64	DISCOUNT JUNE 2022
001-0572-442.23-23		K & K HARDWARE	117492	7/20/2022	201963	8.88	LAWN BAGS - DOG PARK
001-0572-442.23-23		K & K HARDWARE	117492	7/20/2022	203508	336.47	4TH SUPPLIES
001-0701-442.23-07		BETTENDORF SENIOR CITIZENS	117477	7/20/2022	070122	1,500.00	22/23 ANNUAL SPONSORSHIP

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
001-0730-443.21-08	REC055	MID AMERICAN ENERGY	117496	7/20/2022	1293086002JUN22	10.00	Ice Rink
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1207029002JUN22	10.00	4th of July
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1385143004JUN22	10.00	4th of July
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1683007002JUN22	10.00	4th of July
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1523111018JUN22	10.00	4th of July
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1813122001JUN22	10.00	Temp 4th of July
001-0740-446.21-08	FEST01	MID AMERICAN ENERGY	117496	7/20/2022	1803133008JUN22	10.00	Temp III 4th of July
001-0740-446.22-99	FEST01	AAA RENTS INC.	117470	7/20/2022	93972	6,991.60	rentals for tents and
001-0740-446.22-99	FEST01	AAA RENTS INC.	117470	7/20/2022	94355	225.00	rentals for tents and
001-0740-446.22-99	FEST01	PS3 ENTERPRISES, INC	117671	8/3/2022	134997	2,840.34	CHEMICAL TOLIETS
001-0740-446.23-07	FEST01	MISCELLANEOUS	117471	7/20/2022	070422A	35.00	PARADE
001-0740-446.23-07	FEST01	BETTENDORF BUSINESS NETWORK	117474	7/20/2022	070422	35.00	PARADE
001-0740-446.23-07	FEST01	BETTENDORF HIGH SCHOOL BAND	117475	7/20/2022	070422	1,000.00	PARADE BAND
001-0740-446.23-07	FEST01	MISCELLANEOUS	117476	7/20/2022	070422B	50.00	PARADE
001-0740-446.23-07	FEST01	BI-STATE BARRICADE AND FLAGGING	117478	7/20/2022	6081	2,900.00	BARRICADES - 4TH OF JULY
001-0740-446.23-07	FEST01	MISCELLANEOUS	117479	7/20/2022	070422C	50.00	PARADE
001-0740-446.23-07	FEST01	MISCELLANEOUS	117486	7/20/2022	070422D	75.00	PARADE
001-0740-446.23-07	FEST01	HAPPY JOE'S	117489	7/20/2022	070422	50.00	PARADE
001-0740-446.23-07	FEST01	MISCELLANEOUS	117493	7/20/2022	070422E	75.00	PARADE
001-0740-446.23-07	FEST01	METRO YOUTH DRILL TEAM	117495	7/20/2022	070422	1,000.00	PARADE BAND
001-0740-446.23-07	FEST01	PLEASANT VALLEY HIGH SCHOOL BAN	117501	7/20/2022	070422	1,000.00	PARADE BAND
001-0740-446.23-07	FEST01	MISCELLANEOUS	117502	7/20/2022	070422F	75.00	PARADE
001-0740-446.23-07	FEST01	MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9551487	-789.06	ICE CREAM RETURN
001-0740-446.23-07	FEST01	MISCELLANEOUS	117522	7/27/2022	072222	35.00	PARADE WINNER
001-0740-446.23-07	FEST01	MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9551487A	1,406.38	ICE CREAM purchase
206-0709-450.22-99		K & K HARDWARE	117492	7/20/2022	201821	175.39	TREE SUPPLIES
400-5050-480.22-99	PK0186	RIVERSTONE GROUP INC.	117504	7/20/2022	1133665	4,800.95	FOREST GROVE STREAMBANK
400-5050-480.22-99	PK0186	RIVERSTONE GROUP INC.	117504	7/20/2022	1136269	3,630.31	FOREST GROVE STREAMBANK
560-0000-201.10-00		M & M GOLF CARS, LLC	117667	8/3/2022	053122	16,290.40	25.89% OF GOLF CART PAYAB
560-0000-201.10-00		M & M GOLF CARS, LLC	117667	8/3/2022	063022	19,264.80	25.89% OF GOLF CART PAYAB
560-0000-201.14-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22D	1,372.00	CLUB REPAIR
560-0000-201.14-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	JUN22D	117.00	CLUB REPAIR
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22A	31,615.04	PROSHOP PAYABLES

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22B	2,331.15	PROSHOP TAX
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22C	-979.01	CITY'S 3%
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	JUN22A	17,943.05	PROSHOP PAYABLES
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	JUN22B	1,264.61	PROSHOP TAX
560-0000-201.16-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	JUN22C	-538.29	CITY'S 3%
560-0000-201.18-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22E	4,303.00	LESSONS
560-0000-201.18-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	JUN22E	3,985.00	LESSONS
560-0000-201.19-00		JON WADDELL GOLF SHOP LLC	117491	7/20/2022	MAY22F	1,018.50	TAX EXEMPT SALES
560-0000-201.26-00		PETTY CASH - PARK BOARD	117670	8/3/2022	062922	17.04	TIP REPLACEMENT
560-0000-391.03-00		MISCELLANEOUS	117526	7/27/2022	THUL	200.00	CATERING REFUND
560-0525-494.21-01	2300GC	ROTO ROOTER SEWER CLEANING	117673	8/3/2022	320579	154.00	DRAIN CLEANING
560-0525-494.21-08	2200GC	MID AMERICAN ENERGY	117496	7/20/2022	1116077014JUN22	173.22	PHGC Maintenance Bldg
560-0525-494.21-08	2200GC	MID AMERICAN ENERGY	117496	7/20/2022	1137077015JUN22	997.02	PHGC Pump House
560-0525-494.21-08	2200GC	MID AMERICAN ENERGY	117496	7/20/2022	1278125007JUN22	3,124.56	PHGC Clubhouse
560-0525-494.22-99	2200GC	GETZ FIRE EQUIPMENT	117516	7/27/2022	16-583092	297.60	FIRE EQUIPMENT
560-0711-494.22-02		CORRIDOR MEDIA GROUP	117481	7/20/2022	2022-32472	995.00	QCBJ ADVERTISING
560-0711-494.22-02		THREE BRIDGES	117675	8/3/2022	0000527	150.00	EMAIL MARKETING
560-0711-494.22-02		ONMEDIA	117527	7/27/2022	530589	2,400.00	ON MEDIA ADVERTISING
560-0711-494.22-52		MISCELLANEOUS	117660	8/3/2022	071222	700.00	REFUND DEPOSIT OVERAGE
560-0711-494.23-07		CINTAS FIRST AID & SAFETY #D89	117658	8/3/2022	8405776889	36.45	FIRST AID SUPPLIES
560-0711-494.23-07		IOWA GOLF ASSOCIATION	117520	7/27/2022	13162	1,100.00	HANDICAP FEES
560-0711-494.23-19		ANYTHING WEATHER COMMUNICATIO	117473	7/20/2022	92814	1,760.00	ISTRIKE ANNUAL SVC 7/1/22
560-0713-494.21-06		TRI CITY EQUIPMENT COMPANY	117531	7/27/2022	INV014672	273.68	FRIDGE REPAIR
560-0713-494.23-07		MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9556245	216.73	SUPPLIES
560-0713-494.23-07		CINTAS FIRST AID & SAFETY #D89	117658	8/3/2022	8405776888	23.03	FIRST AID SUPPLIES
560-0713-494.23-07		MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9565246	382.94	SUPPLIES
560-0713-494.23-19		FOREUP	117485	7/20/2022	34419	362.22	dejavoo unit - cc
560-0713-494.23-26	PHG014	COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3391427	199.55	POP FOR RESALE - FORGE
560-0713-494.23-26		COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3391427A	650.91	POP FOR RESALE
560-0713-494.23-26		COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3406467	-75.00	TANKS
560-0713-494.23-26		MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9556245A	2,607.56	FOOD FOR RESALE
560-0713-494.23-26		TPC	117676	8/3/2022	7016284	126.23	FOOD FOR RESALE
560-0713-494.23-26		TPC	117676	8/3/2022	7016414	224.13	FOOD FOR RESALE

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
560-0713-494.23-26		COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3360780	286.80	CO2 TANKS
560-0713-494.23-26		COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3403541	805.57	POP FOR RESALE
560-0713-494.23-26		COCA-COLAATLANTIC BOTTLING CO	117661	8/3/2022	3415260	825.06	POP FOR RESALE
560-0713-494.23-26		MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9565246A	2,782.90	FOOD FOR RESALE
560-0713-494.23-26		MARTIN BROTHERS DISTRIBUTING CO	117668	8/3/2022	9570495	227.76	FOOD FOR RESALE
560-0713-494.23-27		IOWA BEVERAGE SYSTEMS INC	117519	7/27/2022	W-4434940	1,191.90	BEER FOR PG RESALE
560-0713-494.23-27		IOWA BEVERAGE SYSTEMS INC	117519	7/27/2022	W-4441330	1,124.70	BEER FOR PG RESALE
560-0713-494.23-27		7G DISTRIBUTING LLC	117532	7/27/2022	543572	576.25	BEER FOR PG RESALE
560-0715-494.22-99		MILLENNIUM WASTE, INC.	117497	7/20/2022	3354513T081	182.70	GARBAGE REMOVAL
560-0715-494.22-99		PS3 ENTERPRISES, INC	117671	8/3/2022	135152	221.00	PORTA POTTY - JUNE
560-0715-494.22-99		CINTAS LOC 23M	117659	8/3/2022	4125830495	94.80	TOWEL CLEANING SVC
560-0715-494.22-99		PS3 ENTERPRISES, INC	117671	8/3/2022	135152A	221.00	PORTA POTTY - JULY
560-0715-494.23-07		SITEONE LANDSCAPE SUPPLY, LLC	117674	8/3/2022	121349684-001	440.11	IRRIGATION COUPLERS
560-0715-494.23-07		CINTAS FIRST AID & SAFETY #D89	117658	8/3/2022	8405776887	28.55	FIRST AID SUPPLIES
560-0715-494.23-24		MULGREW OIL & PROPANE	117499	7/20/2022	1156868	2,125.66	DIESEL FUEL
560-0715-494.23-24		MULGREW OIL & PROPANE	117499	7/20/2022	1157164	2,647.40	GASOLINE
560-0715-494.23-24		DAVIS EQUIPMENT CORP	117663	8/3/2022	J170920	78.49	PULLEY
560-0715-494.23-24		DULTMEIER SALES LLC	117664	8/3/2022	2010228	29.74	SPRAY WAND
560-0715-494.23-25		D & K PRODUCTS	117662	8/3/2022	0548227-IN	4,689.00	FERTILIZER
560-0715-494.23-25		D & K PRODUCTS	117662	8/3/2022	0548589-IN	795.00	FERTILIZER
560-0715-494.23-25		ADVANCED TURF SOLUTIONS	117657	8/3/2022	SO1016557	1,996.00	FOLIAR FOUNDATION AND PON
570-0525-494.21-08	2200LF	MID AMERICAN ENERGY	117496	7/20/2022	2376077017JUN22	3,417.93	Life Fitness Center
570-0526-494.22-99	2301LF	AMERICAN WINDOW CLEANING QC, INC	117472	7/20/2022	23945	162.54	WINDOW CLEANING
570-0703-494.22-13	REC015	RAUCH, KARIE	117528	7/27/2022	072122	300.00	DAY CAMP VISITOR 7/19/22
570-0703-494.22-33	REC005	DORTCH, HENRY	117484	7/20/2022	063022	240.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	LOHMAN, JONATHAN	117494	7/20/2022	063022	120.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	MORENO, JAMES JOHN	117498	7/20/2022	063022	120.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	RAMIREZ, JOSE	117503	7/20/2022	063022	180.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	ROHRER, KENT	117505	7/20/2022	063022	330.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	STOLZE, JEFFREY	117507	7/20/2022	063022	330.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	TAYLOR, DAMOND	117508	7/20/2022	063022	750.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	TREANOR, RONALD C	117509	7/20/2022	063022	480.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC005	WITT, JOSHUA RICHARD	117510	7/20/2022	063022	240.00	UMPIRES - JUNE 2022 MENS

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
570-0703-494.22-33	REC007	DORTCH, HENRY	117484	7/20/2022	063022A	480.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC007	MORENO, JAMES JOHN	117498	7/20/2022	063022A	360.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC007	ROHRER, KENT	117505	7/20/2022	063022A	360.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC007	STOLZE, JEFFREY	117507	7/20/2022	063022A	120.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC007	TAYLOR, DAMOND	117508	7/20/2022	063022A	240.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-33	REC007	TREANOR, RONALD C	117509	7/20/2022	063022A	240.00	UMPIRES - JUNE 2022 MENS
570-0703-494.22-99	REC031	DAN PATRICK, LLC	117482	7/20/2022	063022B	17,117.78	80% SUMMER/OUTDOOR
570-0703-494.23-07	REC020	JOHANNES BUS SERVICE, INC.	117666	8/3/2022	43968	2,000.00	PLG WEEK 1 BUSES
570-0703-494.23-07	REC020	JOHANNES BUS SERVICE, INC.	117666	8/3/2022	44022	2,250.00	PLG WEEK 2 BUSES
570-0703-494.23-07	REC020	JOHANNES BUS SERVICE, INC.	117666	8/3/2022	44023	2,000.00	PLG WEEK 3 BUSES
570-0706-494.22-99		DAN PATRICK, LLC	117482	7/20/2022	063022	27.00	60% INDOOR
570-0706-494.22-99		DAN PATRICK, LLC	117482	7/20/2022	063022A	336.60	90% RACKET REPAIR
570-0706-494.22-99		DIAZ, BETTINNA	117483	7/20/2022	070522	183.40	XCO CLASS INSTRUCTION - J
570-0706-494.22-99		DIAZ, BETTINNA	117483	7/20/2022	070522A	200.00	ZUMBA CLASS INSTRUCTION -
570-0706-494.22-99	LFC012	GALLENS, DAWN	117487	7/20/2022	070522	1,279.20	TUMBLING CLASS INSTRUCTIO
570-0706-494.22-99		STAND UP AND KNOW	117506	7/20/2022	070522	330.00	SELF DEFENSE CLASS INSTRU
570-0706-494.23-04		NATIONAL COOPERATIVE LEASING	117669	8/3/2022	55563-2022	8,196.00	FY22/23 LEASE FOR FITNESS
570-0706-494.23-10		CINTAS FIRST AID & SAFETY #D89	117658	8/3/2022	8405776890	69.35	FIRST AID SUPPLIES
575-0000-201.09-00		MISCELLANEOUS	117513	7/27/2022	2009728.002	50.00	GIFT CERTIFICATE REFUND
575-0000-221.10-00		MISCELLANEOUS	117514	7/27/2022	2009792.002A	1.77	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117523	7/27/2022	071222DEAN-A	1.77	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117525	7/27/2022	2009748.002B	11.12	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117529	7/27/2022	072522HAUSER	1.06	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117517	7/27/2022	72022HERITAGEI	50.70	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117518	7/27/2022	072522HOOVER-E	50.70	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117524	7/27/2022	2009793.002A	8.83	SALES TAX REFUND
575-0000-221.10-00		MISCELLANEOUS	117512	7/27/2022	2009787.002A	7.85	SALES TAX REFUND
575-0000-353.01-05		MISCELLANEOUS	117525	7/27/2022	2009748.002A	46.73	POOL PASS REFUND
575-0000-353.01-07		MISCELLANEOUS	117525	7/27/2022	2009748.002	112.15	POOL PASS REFUND
575-0000-353.01-07		MISCELLANEOUS	117512	7/27/2022	2009787.002	112.15	POOL PASS REFUND
575-0000-353.02-02		MISCELLANEOUS	117514	7/27/2022	2009792.002	25.23	POOL COUPON REFUND
575-0000-353.02-02		MISCELLANEOUS	117523	7/27/2022	071222DEAN	25.23	POOL COUPON REFUND
575-0000-353.02-02		MISCELLANEOUS	117529	7/27/2022	072522HAUSER-A	15.14	POOL PASS REFUND

## City of Bettendorf Parks Accounts Payable 08-02-22 Meeting

Account Number	Project #	Vendor Name	Ck #	Ck date	Invoice Number	Amount	Description
575-0000-353.02-02		MISCELLANEOUS	117524	7/27/2022	2009793.002	126.17	POOL COUPON REFUND
575-0000-353.02-04		MISCELLANEOUS	117517	7/27/2022	072022HERITAGE	824.30	POOL RENTAL REFUND
575-0000-353.02-04		MISCELLANEOUS	117518	7/27/2022	072522HOOVER	824.30	POOL RENTAL REFUND
575-0000-391.01-00		MISCELLANEOUS	117517	7/27/2022	72022HERITAGE,	25.00	POOL CONCESSIONS REFUND
575-0000-391.01-00		MISCELLANEOUS	117518	7/27/2022	072522HOOVER-/	25.00	POOL CONCESSION REFUND
575-0525-494.21-01	2200PL	HOMETOWN PLG & HTG CO INC	117490	7/20/2022	68530	1,285.50	6/26 POOL REFILL
575-0525-494.21-01	2200PL	K & K HARDWARE	117492	7/20/2022	203914	62.20	UMBRELLA HARDWARE
575-0525-494.21-08	2200PL	MID AMERICAN ENERGY	117496	7/20/2022	1095077016JUN22	5,143.74	Splash Landing North Pump
575-0525-494.21-08	2200PL	MID AMERICAN ENERGY	117496	7/20/2022	1284077027JUN22	2,082.58	Splash Landing South Pump
575-0526-494.22-99	2201PL	GS MAINTENANCE LLC	117488	7/20/2022	2539	1,440.00	CLEANING SVC - JUNE '22 -
575-0704-494.22-13		QC ANALYTICAL SERVICES LLC	117672	8/3/2022	2207054	765.00	WATER TESTING - FULL CHEC
575-0704-494.22-13		SCOTT COUNTY HEALTH DEPARTMEN	117530	7/27/2022	2022-00Q00021	441.00	SPL ANNUAL INSPECTION
575-0704-494.23-07		HAWKINS INC.	117665	8/3/2022	6229258	749.85	POOL CHEMICALS
575-0704-494.23-07		HAWKINS INC.	117665	8/3/2022	6229407	828.50	POOL CHEMICALS
575-0704-494.23-07		HAWKINS INC.	117665	8/3/2022	6231654	1,236.82	POOL CHEMICALS
575-0704-494.23-07		CINTAS FIRST AID & SAFETY #D89	117480	7/20/2022	8405757417	168.28	FIRST AID SUPPLIES
575-0704-494.23-07	SPL001	BETTENDORF OFFICE PRODUCTS,INC	117511	7/27/2022	0469615-001	47.97	PAPER FOR LESSON CARDS
575-0704-494.23-07		IPROMOTEU	117521	7/27/2022	1994397AVG	134.00	STAFF ATTIRE
575-0704-494.23-07		IPROMOTEU	117521	7/27/2022	1989516AVG	893.75	STAFF ATTIRE
575-0704-494.23-07		IPROMOTEU	117521	7/27/2022	1997197AVG	71.50	STAFF ATTIRE
						231,457.80	